

Historic Property Survey
Town of Sudbury
Massachusetts 01776

PHASE FOUR



Supplement to Phase One 1996
September, 2021

SUDBURY SURVEY UPDATE, 2020-2021
Survey Final Report

Submitted to the Town of Sudbury and the Massachusetts Historical Commission

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Wendy Frontiero and Kathleen Kelly Broomer
Architectural Historians and Preservation Consultants

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ABSTRACT

The Town of Sudbury received a Survey and Planning Grant from the Massachusetts Historical Commission (MHC), matched with local Community Preservation funds, to update and expand its townwide historic resources inventory. Administered by the Sudbury Historical Commission, the survey recorded historically and architecturally noteworthy resources that represent the cultural history of Sudbury and were constructed before 1940. Two (2) MHC area inventory forms, eighty (80) MHC building inventory forms, and two (2) MHC structure forms were prepared, recording 112 historic resources. The survey identifies resources potentially eligible for the National Register of Historic Places and supports additional preservation planning efforts, including demolition delay review. A large-scale GIS base map of Sudbury was annotated to show the areas and individual resources inventoried during this project. The *Survey Final Report* includes a description of survey methodology, index of inventoried areas and properties, National Register of Historic Places context statements with recommendations for National Register evaluation, further study recommendations, and a bibliography.

Historic resources recorded in the survey will be incorporated into the Inventory of Historic and Archaeological Assets of the Commonwealth, the statewide inventory maintained by the MHC. After processing by the MHC, the inventory forms will be available online through the Massachusetts Cultural Resource Information System (MACRIS) database at <https://mhc-macris.net>. Copies of all inventory forms, the final report, and the survey base map are also available for public inspection at the Planning and Community Development Department, Flynn Building, 278 Old Sudbury Road.

Sudbury Historical Commission

Christopher Hagger, Chairman

Taryn Trexler, Survey Coordinator

Diana P. Cebra

Jan Costa

Steven Greene

Marjorie Katz

Diana E. Warren

Kathryn J. McGrath

Fred Bautze

Adam L. Duchesneau, AICP

Director of Planning & Community Development

Local Project Coordinator

Kevin Kirmelewicz

GIS consultant, Town of Sudbury

METHODOLOGY

Survey Objectives

The Town of Sudbury received a Survey and Planning Grant from the Massachusetts Historical Commission (MHC), matched with local Community Preservation funds, to provide professional research and documentation of historic resources in the town. The survey updated and expanded earlier volunteer and professional survey documentation that previously recorded about 441 resources in MHC's Massachusetts Cultural Resource Information System (MACRIS) database.

This survey project developed a fuller understanding of the area's historically and architecturally significant resources, with particular goals of advancing knowledge of 20th century properties, pre-1940 municipal buildings, and under-documented building types, including barns and other outbuildings. The survey also provided documentation to support administration of the town's Demolition Delay Bylaw and future preservation planning efforts, including a townwide preservation plan.

Per the contracted Scope of Work, later amended by e-mail agreement given the late project start, 112 historic resources were recorded with MHC inventory forms, in accordance with the survey methodology of the MHC. Historic contexts for National Register evaluation were identified, and National Register of Historic Places criteria were applied to all resources recorded on inventory forms. A list of properties recommended for National Register evaluation was prepared, along with a survey base map identifying the resources documented during this project.

The Town of Sudbury contracted with Wendy Frontiero and Kathleen Kelly Broomer, architectural historians and preservation consultants, to conduct the survey, which concluded in September 2021.

Assessment of Previous Research and Documentation

Sudbury's built environment is dominated by a rich layering of agricultural and residential uses dating from the 18th through early 20th centuries, with small-scale, historic industrial and commercial properties concentrated in the southern portion of the town. Residential growth increased exponentially after World War II, with new subdivisions built throughout the town and several large new industrial and shopping complexes constructed (and sometimes already abandoned), particularly along the Boston Post Road.

Existing inventory forms for Sudbury provided a useful framework for establishing priorities in this survey project, especially the sixteen (16) area forms previously developed for the town. The Sudbury Historical Commission identified many properties within inventoried areas and designated historic districts that merited documentation individually during the project, although the area and district forms themselves were not updated.

Sudbury’s local historic districts are designated by Special Act (*Chapter 40 of the Acts of 1963*) rather than under the provisions of *M.G.L. c. 40C*, which requires that a district study report -- often supplemented with building inventory forms -- be prepared and filed with MHC. The absence of this building-by-building documentation of local historic districts, combined with the age of the town’s National Register districts (all established 45-50 years ago), contributed to the need for detailed and current inventory forms for properties within designated historic districts.

Roughly one-half of the properties targeted for survey were located in established historic districts, some with overlapping boundaries:

approximately 19 properties	Old Sudbury Historic District (LHD 1963, expanded 1967, 2000) Sudbury Center Historic District (NRDIS 1976)
approximately 16 properties	King Philip Historic District (LHD 1972, expanded 2005)
approximately 10 properties	The Wayside Inn Historic Districts I and II (LHD 1967) The Wayside Inn Historic District (NRDIS 1973)
approximately 4 properties	George Pitts Tavern Historic District (LHD 2008)

While these properties are included in the Inventory of Historic Assets of the Commonwealth, the statewide inventory maintained by MHC, they either had building inventory forms prepared in the late 1960s, or were documented merely by citation on an address list in an area inventory form prepared from the mid-1990s onward. In both cases, updated property-specific inventory forms meeting current MHC survey standards were desired to support local historic district review and broader town planning efforts.

Gaps in the existing Sudbury inventory suggested additional opportunities for documentation in this project. Examples included agricultural outbuildings and 20th-century resources such as recreational camp developments and early 20th century suburban construction. The desire to improve geographic survey coverage, especially in neighborhoods outside designated historic districts, also emerged as a priority. Notable clusters included an early 20th-century subdivision of summer cottages at Pine Lakes between Hudson Road, Crystal Lake, and Willis Lake, and a vestige of early 20th-century development on Boston Post Road east of Horse Pond Road.

Criteria for Selecting Properties for Survey

Sudbury Historical Commission members compiled a preliminary property list of 100 resources desired for recording in this project, ranging in date from ca. 1729 to 1939. Most were residential buildings and associated outbuildings, located in a range of village, suburban, and agricultural settings. Current or former municipal buildings, the Town Pound, mills, barns, carriage sheds, and former railroad buildings were included. Town priorities for survey included resources believed to be threatened by development, as well as previously inventoried properties considered to be under-documented by current survey standards. Despite MHC scope requirements that the survey would consider historic resources in place by circa 1970, local

funding constraints (generated by concerns about administration of the town's Demolition Delay Bylaw) imposed an end-date of 1939 for resources considered for this survey.

The following interconnected criteria were considered for finalizing the selection of resources:

Architectural quality and integrity. Consideration was given to both unique and representative examples of historic architecture, particularly examples of architectural styles currently under-represented in Sudbury's inventory, as well as strength and clarity of visual character.

Architectural and historical significance. Strength of associations with broad patterns of history or important individuals or events.

Visibility and Threats. Prominence in the landscape and susceptibility to development pressures, including demolition and large-scale renovation, and whether loss would likely be detrimental to Sudbury's cultural or architectural heritage. Demolition and large-scale renovations were considered an intense threat throughout the town, and along Boston Post Road in particular, with its multiple layers of history. The town reviews an average of one demolition permit each month.

Under-represented or under-documented resource types. The earliest volunteer-produced inventory forms did not meet current survey standards for architectural description and historical narrative, which provide critical background for preservation planning efforts.

Town-owned historic resources. The preliminary target list for the current survey project included the Flynn Building, 278 Old Sudbury Road (SUD.155), and the Sudbury Historical Commission subsequently requested an updated inventory form for Sudbury Town Hall, 322 Concord Road (SUD.103) in anticipation of future renovations. The consultants suggested addition of the Howe Lumber Company Lodge, 489 Peakham Road (SUD.437) as a town-owned historic resource for survey.

The Town Pound (SUD.904), Old Town/Revolutionary Cemeteries (SUD.805), Mount Pleasant Cemetery (SUD.802), and New Town Cemetery (SUD.804), all on Concord Road, were on the Sudbury Historical Commission's survey target list. All of these historic resources are located within the boundaries of the overlapping National Register and local historic districts at the town center. At the survey project start-up meeting, it was agreed that cemeteries at the town center are sufficiently protected by existing laws to be considered a lower priority for survey update.

A number of town-owned historic buildings, including some owned by the Sudbury Housing Authority, were not included in the town inventory. Most of these unrecorded buildings were constructed after the cut-off date for Sudbury Historical Commission review under the Demolition Delay Bylaw. When town-owned historic buildings have been identified and recorded proactively, however, the town has the necessary information on hand to plan for their renovation, replacement, or sale. The Sudbury Historical Commission may wish to consider further survey of examples that still generally retain their historic integrity. Priority in this

survey was given to town-owned resources that reflected residential and institutional development and agricultural activity in the first four decades of the 20th century.

Located in the public way throughout the town are cast iron historical markers placed in 1930 by the Massachusetts Bay Colony Tercentenary Commission. As is the case in many towns, these markers are susceptible to vehicular damage or removal during road projects. While six markers were reportedly erected in Sudbury, only one was included in the town's inventory: the Goodenow [sic] Garrison House Marker (SUD.911), with a 1967 form. Another marker, placed at the western town boundary with Framingham and Marlborough, reportedly was stolen. MHC staff confirmed that MassDOT (Department of Transportation) is currently recording all extant markers in Sudbury and other towns with MHC inventory forms, and long-term plans call for state-funded restoration of extant markers. The program will not cover fabricating replacements for missing markers.

Both the Sudbury Historical Commission and MHC staff approved the list of properties selected for documentation. Archaeological resources were not surveyed in the course of this project, as MHC requires specific archaeological expertise to document such properties.

Survey Procedures

Research Process

Research focused on identifying estimated construction dates, the names and occupations of property owners and/or building occupants (up to 1940), their contributions to the community, and each resource's historic appearance and modifications over time. Principal research sources consulted were historic maps and atlases, tax valuation lists, town directories and resident (voting) lists, deeds, the U. S. census, historic newspapers, and MHC's MACRIS (Massachusetts Cultural Resource Information System) database.

Sudbury has good online map and atlas coverage from 1795 through 1908, with most providing the names of property owners for each building, a critical starting point for research. Town valuation (assessors') lists, available for various years from 1859 onward, are arranged alphabetically by the surname of the taxpayer. Commercial directories exist from 1904 to the mid-20th century, providing resident names, street names (no street numbers), and occupations. Resident (voting) lists were published beginning in 1946, with listings arranged alphabetically by resident surname. Street names (no street numbers) and Post Office addresses are provided; occupations of individuals were added in 1960. The 1964 voting list is the earliest to list residents, with their occupations, by full street address in addition to alphabetically by surname. Town building permits for some privately-owned buildings date as early as the 1930s; in-person review of building permit jackets was not practical, however, given survey project time and budget constraints, exacerbated by pandemic limitations on in-person research. Online Sudbury newspapers covering most of the 20th century proved very helpful in property-specific research.

Lack of street numbers in Sudbury prior to the 1960s, combined with limited map and atlas coverage for Sudbury in the 20th century, complicated efforts to identify owners' names for historic buildings from 1908 onward. This constraint affected research for buildings constructed after 1908, as well as the 20th-century research desired for buildings that pre-dated 1908. MHC survey methodology does not require deed research, which is highly labor-intensive and not well suited to the budget constraints of a fixed-fee MHC survey project. At the same time, current MHC expectations for substantive content in the inventory forms could not be met without online research in the Middlesex South Registry of Deeds **for nearly all private properties inventoried in this project**, in the absence of a more efficient and accurate way to pinpoint 20th-century property owners for specific Sudbury buildings. This 20th-century research problem is not unique to Sudbury, and suggests the need for MHC reconsideration of its survey methodology and fixed-fee budgets to respond to these challenges.

For municipal properties in Sudbury, an extensive collection of municipal records from the mid 17th through mid 19th century is digitized and searchable online. Annual town reports from 1864 to the present also are available online. Another important source for researching municipal buildings is the Public Safety Plan collection at the Massachusetts Archives, which provides a card index of construction dates and architect names for public building projects dating from 1889 to the 1980s.

When an inventoried building or area was determined to merit further research, a notation to that effect was added to the corresponding inventory form. Completed MHC inventory forms are intended to provide broad-strokes assessments of historic resources for public planning purposes, and a solid foundation upon which more detailed research can build in the future. While survey research benefits from an array of online source materials and databases, time and budget constraints did not allow consultants to locate and synthesize every available online and hard-copy source in the development of inventory form narratives.

A number of useful research sources not available online were located in the local history room of Sudbury's Goodnow Library, including town (assessors') valuations, resident (voting) lists, and various documents and clippings in subject files. The Sudbury Historical Society provided copies of important reference works, including A. S. Hudson's *History of Sudbury* (1889); the Society's name and topics index (1983) to Hudson's area histories; Curtis E. Garfield's *Sudbury 1890-1989. 100 Years in the Life of a Town* (1999); and the Society's tour brochures from 2015 through 2018. While the archives of the Wayside Inn Foundation are not indexed, the Nonprofit Director of the foundation offered valuable insights into more accessible research and documentation on the property's history. While pandemic considerations necessarily limited the time devoted to on-site research in Sudbury collections, a number of sources were photographed for use off-site.

Recording of Resources

Survey products were prepared according to MHC survey requirements. A combination of area (Form A), building (Form B), and structure (Form F) inventory forms were prepared, recording 112 historic resources on 84 forms. Where a property already was represented in Sudbury's

inventory with an existing but inadequate or outdated inventory form, an entirely new form was prepared to meet current MHC survey standards. In most cases, this involved building forms. Two new area forms were prepared to update existing survey documentation for Fairbank Farm (SUD.S) and Wolbach (Winterbrook) Farm (SUD.T). New MHC area forms were not produced in this project for previously inventoried areas, *i.e.*, areas documented with area inventory forms and/or designated as local historic districts or National Register districts.

A reconnaissance survey was undertaken during Phase I of this project to verify the property types and styles, architectural quality, physical integrity, and social and economic context of resources on the Preliminary Target List compiled by the Sudbury Historical Commission. The lengthy process of refining the target list largely centered on discussing the historic integrity of buildings targeted, resolving ambiguities in identifying some of the properties desired for survey, and reaching consensus on how historic outbuildings are best recorded in an MHC survey grant project. Certain resources were removed from the target list, and others added.

While many properties requested for survey by the Sudbury Historical Commission maintain their historic integrity, others are quite altered and appear to have been included on the target list because their current condition or location suggests the possibility of future review under Sudbury's Demolition Delay Bylaw. Ideally, a town's inventory will focus on resources with the greatest historic integrity, even if they post-date the pre-1940 review threshold of the Demolition Delay Bylaw. Focusing a survey on resources with the greatest historic integrity is consistent with a principal goal of comprehensive surveys: identifying additional resources that merit listing in the National Register of Historic Places.

Owner permission was required in order to photograph a number of buildings that were not easily viewed from a public way due to foliage or building setback. If permission were not obtained in these instances, photographs taken from the public way likely would not have met current MHC survey standards for inventory forms. The consultants advised on a letter that the Director of Planning and Community Development sent to property owners on behalf of the Sudbury Historical Commission, requesting permission for limited exterior photographs of 22 resources on 18 properties. Seven (7) of these properties were recorded in the survey.

The survey process included field survey, research, evaluation, and production of inventory forms. Field work encompassed site observation of each building or area and new photographic recording. Research documented major alterations and confirmed original estimated construction and development dates, occupants, and developers/architects.

Inventory forms incorporate an architectural description, historical narrative, locus map, photographs, bibliography/references, and (where recommended) a National Register criteria statement form. Area form data sheets, where applicable, record an MHC inventory number, assessors' number, street address, historic name, approximate date of construction, and architectural style for each resource within the area form boundary. A list of properties recommended for National Register listing is included in this *Final Report*. Existing National Register district nominations helped establish a framework for understanding the relative

significance of historic resources in Sudbury. This material was revised and expanded to reference specific properties and new historic themes identified during the current project.

The inventory form numbering system was prepared according to recommendations of MHC's MACRIS database staff. A street index is provided in this *Final Report*. The index lists all resources inventoried during this project, with their assigned MHC inventory letters (for areas) or numbers (for individual resources).

Small-scale maps inserted into the inventory forms were screen shots of online mapping currently available through the MapsOnline GIS function for Sudbury. Inventoried resources were hand-plotted by MHC inventory code on a large-scale base map of Sudbury prepared by the town's GIS consultant. This base map, which includes street names, street address numbers, parcel lines, and building footprints, identifies resources inventoried during the project.

Photographic documentation varied with the type of inventory form prepared. Most inventory forms for individual resources included a single photograph of the principal building, with photographs for outbuildings and secondary buildings only if determined by the consultants to be architecturally or historically distinctive. For the two area forms, representative and outstanding individual buildings and street views within the area boundaries were photographed. Following MHC survey standards, original photograph prints were submitted (one for MHC, one for Sudbury) only for the view on the cover page of each inventory form. Additional views were provided as JPG files embedded in the inventory form document and not printed separately from the survey form. A CD of digital images for inventoried properties was submitted at the end of the project.

Two original complete sets of survey documents were submitted, one for MHC and one for the Town of Sudbury.

Accomplishments and Assessment of Survey Results

The goals of the survey have been accomplished, as follows:

	Updates to previously recorded resources	Resources newly added to inventory	Total resources recorded
2 area forms	2	8	10
80 building forms	48	52	100
2 structure forms	1	1	2
Total (84 forms)	51	61	112

Aside from a higher number of altered historic resources than the consultants anticipated recording, the survey results did not differ significantly from the expectations developed earlier in this project in terms of the location, concentration, and condition of historic resources.

INDEX OF PROPERTIES SURVEYED

Area Forms

Area Name	MHC ID
Fairbank Farm, 135 and 136 Old Sudbury Rd	SUD.S
Wolbach (Winterbrook) Farm, 18 Wolbach Rd	SUD.T

Building Forms

Historic Name	Street #	Street Name	MHC ID
Orin and Julia Delaney Camp	70	Beechwood Ave	SUD.402
Richard D. Morse Barn	320-324	Boston Post Rd	SUD.253
David E. Marshall House	354	Boston Post Rd	SUD.372
John W. Garfield Wheelwright Shop	359	Boston Post Rd	SUD.374
Waldo and Emma Stone House	555	Boston Post Rd	SUD.403
Rilla S. Hill House	573	Boston Post Rd	SUD.404
Louis and Ruth Perry House and Garage	577	Boston Post Rd	SUD.405, 406
Edward and Grace Brown House	598	Boston Post Rd	SUD.407
Frederick and Nina Stone House	604	Boston Post Rd	SUD.408
William and Mary Hager House	850	Boston Post Rd	SUD.7
Adam Howe House	882	Boston Post Rd	SUD.5
Frank and Constance Gullotti Camp	70	Butler Rd	SUD.409
Harry and Grace Twigg Camp	92	Butler Rd	SUD.410
E. Gertrude Hurlbut Rond House	18	Concord Rd	SUD.379
Samuel and Ina Underwood House	61	Concord Rd	SUD.383
Albert and Harriet Young House (attached barn)	84	Concord Rd	SUD.386
Luman and Alice Parmenter House	89	Concord Rd	SUD.387
Garfield House – St. Hubert’s School (attached barn)	248	Concord Rd	SUD.178
C. and M. A. Moore House and Barn	272	Concord Rd	SUD.95, 411
Jonas Hunt House, Barn, and Garage	301	Concord Rd	SUD.100, 412, 413
Sudbury Town Hall	322	Concord Rd	SUD.103
Center District School – Sudbury Grange No. 121 Hall	324-326	Concord Rd	SUD.104
First Parish Church of Sudbury Carriage Shed	327	Concord Rd	SUD.102

Historic Name	Street #	Street Name	MHC ID
James J. Puffer House <i>(attached barn)</i>	391	Concord Rd	SUD.184
Mildred Burbank Hunter House	66	Dudley Rd	SUD.414
S. and N. Parmenter House and Barn	61	Dutton Rd	SUD.49, 415
Haman Hunt House	34	Goodmans Hill Rd	SUD.39
Anne Buxton House	315	Goodmans Hill Rd	SUD.199
Leon E. and Jennie Hawes House	30	Hudson Rd	SUD.174
Old Colony Railroad Station	40	Hudson Rd	SUD.63
Stile House and Barn/Garage	51	Hudson Rd	SUD.173, 416
Reuben and Lucinda Moore House <i>(attached garage)</i>	58	Hudson Rd	SUD.62
Cloda F. Walsh Camp	568	Hudson Rd	SUD.417
William and Evelyn Downing House <i>(attached garage)</i>	9	Indian Ridge Rd	SUD.418
Herbert and Mary Newton House	22	Indian Ridge Rd	SUD.419
Helen J. Kearney Camp	40	July Rd	SUD.420
John Goodnow House and Barn	4	King Philip Rd	SUD.38, 389
Richardson-Morse House	22	King Philip Rd	SUD.37
Robert C. Woodberry House	29	King Philip Rd	SUD.262
Benjamin Richardson House and Barn	62	King Philip Rd	SUD.34, 421
Henry T. McSweeney House	10	Landham Rd	SUD.422
K. and M. Donaghy House and Garage	15	Maple Ave	SUD.366, 423
George and Margaret Duane House	25	Maple Ave	SUD.368
C. and M. Burr House and Garage	31	Maple Ave	SUD.370, 424
Foss House and Garage	34-36	Maple Ave	SUD.371, 425
Ferdinand J. Lehr House	48	Maplewood Ave	SUD.426
William L. and Marie Stoddard House	4	Marlboro Rd	SUD.427
Webster and Beatrice Cutting House	354	Maynard Rd	SUD.428
Patrick Connelly House	206	Nobscot Rd	SUD.429
Amos Conant, Jr. House	254	North Rd	SUD.148
H. and C. Bergner House and Garage	380	North Rd	SUD.430, 431
Davison Carriage House - Gelpke House	254	Old Sudbury Rd	SUD.159
Clara L. Ferden House	262	Old Sudbury Rd	SUD.158
Methodist Church Parsonage <i>(attached barn)</i>	268	Old Sudbury Rd	SUD.157
Center School – Sudbury High School (White Building)	278	Old Sudbury Rd	SUD.155
Elisha W. Haynes House	279	Old Sudbury Rd	SUD.156
Southwest School and Barn	11	Peakham Rd	SUD.48, 432
Fairbank-Walker House and Barns (2)	95	Peakham Rd	SUD.47, 433, SUD.434
Katie L. Wilson House	222	Peakham Rd	SUD.313

Historic Name	Street #	Street Name	MHC ID
B. and D. St. Germain House and Garage	430	Peakham Rd	SUD.435, 436
Howe Lumber Company Lodge	489	Peakham Rd <i>(Haynes Meadow)</i>	SUD.437
Old Colony Railroad Freight House <i>(dwelling on same parcel is not historic)</i>	616	Peakham Rd	SUD.438
Brigham-Oliver House and Barn	623	Peakham Rd	SUD.45, 439
Henrietta L. Brooks House and Barn	125	Pelham Island Rd	SUD.22, 440
Frederic and Hazel Thompson Camp	10	Pinewood Ave	SUD.441
Arthur and Mary Chalk House	11	Pinewood Ave	SUD.442
Ellen T. Flemming House	14	Pinewood Ave	SUD.443
Irving and Ethel Litchfield Camp	21	Pinewood Ave	SUD.444
Thomas A. O'Loughlin Camp	25	Pinewood Ave	SUD.445
Clara Grant Bowry House <i>(attached garage)</i>	9	Pokonoket Ave	SUD.270
Starratt House <i>(attached garage)</i>	23	Pokonoket Ave	SUD.446
R. and S. Kidwell House and Garage	236	Raymond Rd	SUD.447, 448
Liebman House and Garage	250	Raymond Rd	SUD.449, 450
Poole Mink Farm	4	Stagecoach Dr	SUD.451
Jerome and Rebecca Butterfield House	115	Stockfarm Rd	SUD.452
Hunt-Thompson Barn <i>(dwelling on same parcel is not historic)</i>	7	Thompson Dr	SUD.453
Wayside Inn – Cider House	47-131 <i>(aka #131)</i>	Wayside Inn Rd	SUD.316
Wayside Inn – Gate House	47-131 <i>(aka #47)</i>	Wayside Inn Rd	SUD.315
Wayside Inn – Old Barn	47-131 <i>(aka #72)</i>	Wayside Inn Rd	SUD.314
Wayside Inn – Redstone School	104	Wayside Inn Rd	SUD.3

Structure Forms

Historic Name	Street No.	Street Name	MHC ID
Sudbury Town Pound		Concord Rd	SUD.904
Wayside Inn – Cold Storage Cellar	47-131 <i>(aka #131)</i>	Wayside Inn Rd	SUD.996

NATIONAL REGISTER OF HISTORIC PLACES CONTEXTS AND NATIONAL REGISTER RECOMMENDATIONS

In order to apply the National Register of Historic Places criteria to resources inventoried in this survey project, themes of historic development are provided in the form of National Register contexts. These contexts establish a framework for understanding the relative significance of resources inventoried during the survey project. The context statements are based primarily on new research undertaken during the current survey project, and they relate only to properties inventoried during this project. An Architecture context was purposefully not developed, due to the limited scope of the project. This important theme should be studied in the future in a town-wide fashion in order to provide a more complete understanding of Sudbury's historic resources.

The consultants' recommendations for National Register eligibility are limited to surveyed properties that are not currently listed in the National Register. About one-half of the resources documented in this survey are already listed in the National Register due to their inclusion in either the Sudbury Center Historic District (NRDIS 1976) or the Wayside Inn Historic District (NRDIS 1973). The National Register criteria statement forms submitted with relevant survey forms should be consulted for more specific information on the eligibility of properties recommended for the National Register.

Resources identified here are not considered eligible for the National Register on the basis of consultant recommendations alone. Massachusetts Historical Commission (MHC) staff would have to evaluate a property and issue an opinion of National Register eligibility. The Sudbury Historical Commission should coordinate all requests for National Register evaluation with MHC staff.

Recommendations for National Register eligibility contained in this report are based on the research undertaken as part of this project and field observation of the building and property exteriors. To evaluate individual properties for National Register eligibility, MHC staff also requires information on building interiors, which were not inspected or documented as part of this project. MHC will require that additional interior documentation be submitted before issuing a staff opinion on eligibility.

Context: Agriculture and Industry (mid-17th century – ca. 1971)

Farming has been the centerpiece of Sudbury's economy from the beginnings of European settlement in the mid-17th century through much of the 20th century. Even today, vestiges of agricultural activity remain viable, including a cluster of development on Boston Post Road, east of Horse Pond Road, although most of those properties have been extensively altered. The large, early farms began to be divided in the mid- to late 19th century, accelerating in the early 20th century. Some of the traditional working farms became gentlemen's farms maintained by well-to-do families from the Boston area. Others became smaller suburban estates, and still more were sold off for development of residential subdivisions, or commercialization along the Boston Post Road. In the early 20th century, a number of immigrants (principally from Italy, Finland,

Sweden, and Lithuania) who had been employed in manufacturing jobs in eastern Massachusetts cities came to Sudbury to pursue farming. Specialty farms included dairy farms, poultry farms, and at least one mink farm, at 4 Stagecoach Drive (ca. 1910, SUD.451).

Market gardening was a common industry in Boston's western suburbs. Sudbury's agricultural industry is distinctive for its greenhouse business, a major industry here from the 1880s through the 20th century. The town recorded at least 80 greenhouses in place in 1900, from ancillary structures on farms to large-scale commercial greenhouses covering up to two acres of land area. Vegetables, especially cucumbers and lettuce, and flowers, especially carnations and violets, were the chief products of Sudbury greenhouses, shipping to surrounding towns and later to markets in Boston and New York.

State Road West, later known as Boston Post Road West, was a historic focus for greenhouse businesses and is the last major survivor of the greenhouse activity once seen throughout Sudbury. In 1879, Hubbard H. Brown was the first Sudbury farmer to experiment with growing vegetables under glass, building a heated greenhouse and planting cucumbers at his farm at 79 Nobscot Road (SUD.33; not surveyed in this project). By the end of the 19th century, greenhouse businesses proliferated along nearby Boston Post Road. Growers here included William L. Stone and Son, producing cucumbers under 1,600 square feet of glass by 1889 and later expanding into floriculture. Homer Rogers maintained twelve greenhouses in two locations in Sudbury by 1897, producing cucumbers, tomatoes, and carnations, known as "pinks." His greenhouse manager, James Tulis, went on to open his own business, operating three large "pink houses" here by 1903.

By the turn of the 20th century, Sudbury businessmen owned large wooded tracts for logging and processing lumber. Hop Brook and adjacent waterways have powered a number of sawmills in the town, some owned by outside interests. In one instance, the Howe Lumber Company of Marlborough processed lumber at its sawmill location on Pratt's Pond, later known as Connors Pond, and built a lodge for employees at 489 Peakham Road (ca. 1924, SUD.437).

Resources associated with this context include residences, barns and other outbuildings, greenhouses, and farmstead landscapes. Farm houses and barns form the majority of resources associated with this context, but it also includes such property types as the 18th century Town Pound on Concord Road (1797-1798, SUD.904, NRDIS 1976) and the Grange Hall, 324-326 Concord Road (1848-1849, SUD.104, NRDIS 1976). Architectural styles represented in this context range from Federal to Craftsman.

Recommended Individual Listings

John Goodnow House and Barn, 4 King Philip Road (2nd quarter 19th century, SUD.38, 389)

Howe Lumber Company Lodge, 489 Peakham Road (ca. 1924, SUD.437)

Hunt-Thompson Barn, 7 Thompson Drive (ca. 1830, SUD.453)

Barn only, not the ca. 1995 house on the property. A National Register evaluation request to MHC should include the associated historic house inventoried in 1996, the William Hunt House, 605 Concord Road (ca. 1783, SUD.112).

Recommended for Further Study

Haman Hunt House, 34 Goodmans Hill Road (1st quarter 19th century, SUD.39)

Richardson-Morse House, 22 King Philip Road (1840s, SUD.37)

The two properties named above have well-preserved farmhouses with no associated historic farmstead buildings identified on their respective parcels. For this reason, MHC staff advise that the farmhouses would not likely be eligible for listing in the National Register under Agriculture as an area of significance. Further evaluation is recommended. These properties may be more appropriate for nomination under a context for Architecture. The Haman Hunt House may also be significant under the context of Suburbanization and Seasonal Development.

Bruno and Dena St. Germain House, 430 Peakham Road (ca. 1928-1930, SUD.435)

The survey form for this historic farm documents the main house and a garage. The property also contains several smaller outbuildings that may be agriculturally related, but which are not clearly visible from the public way. In order to evaluate potential National Register eligibility for this property under Agriculture, additional field investigation and research are recommended. The property may also be significant under the context of Suburbanization and Seasonal Development.

Context: Early 20th Century Suburbanization and Seasonal Development (ca. 1905-1971)

After World War I, suburban development accelerated in South Sudbury as the popularity of the automobile, combined with existing railroad service, offered more options for commuter transportation to Boston. Highways that had been laid out in the Colonial era were upgraded as auto roads, including the Old Sudbury-Maynard Roads axis as Route 27 and the Boston Post Road as Route 20.

Although the town's population remained relatively stable until after World War II, Sudbury began transforming in character earlier in the 20th century. As observed in 1939,

[w]hile the numerical population of Sudbury has been stationary for some time, it should not be concluded that the town is in a state of gradual decline. On the contrary, Sudbury shows promise of remaining just what it is, a typical small New England community. Those Sudbury men who are not independent farmers work in neighboring cities and towns, or commute to offices in Boston. Even those who are men of importance in the city like to return to the quiet countryside and their rambling frame houses surrounded by ample acres. The entire place maintains an air of rural charm (Federal Writers' Project of the Works Progress Administration in Massachusetts, 1987: 51).

Limited residential infill construction occurred at the town center and in Mill Village, in South Sudbury, between the World Wars. Planned developments in more rural areas, usually on speculation, was more common, and contributed to the town's transition from an agricultural community to a bedroom suburb of Boston. Typical of this period was the King Philip Heights subdivision (ca. 1924), in the south part of Sudbury, which extended from Pokonoket Avenue on the east to Massasoit Avenue on the west, on land owned by real estate broker Albert Wilbert

Starratt and subdivided for development by his brother-in-law, Lawrence B. Tighe. Deed restrictions often governed the character of development before adoption of a town zoning bylaw, which did not occur in Sudbury until the late 1930s. At King Philip Heights, restrictions called for construction of only a single dwelling house, costing not less the \$5,000. A private garage was to be erected and maintained on the premises, no building was to be placed within 25 feet of a road, and no building constructed on the premises could be used as a “store or public resort.”

Sudbury experienced a boom in recreational camp development between the World Wars, much of it focused largely, though not exclusively, west of the town center. Real estate speculators, typically from the Boston area, began developing recreational camps or seasonal cottages, many in wooded waterside locations that offered access to hunting, fishing, swimming, and boating. The major developments were Pine Lakes (1927) and Holman Pine Rest (1927), while a smaller camp area developed on Butler Road (ca. 1919-1926 onward). Building lots in some camp districts were as small as 2,500 square feet and predate the enactment of Sudbury’s zoning bylaw in the late 1930s. Many buyers purchased at least two or three adjacent lots on which to build.

Deed restrictions often governed the character of development in the wooded camp setting. At Pine Lakes, for example, only dwellings and their customary outbuildings, or stores, were allowed, and no principal building could cost less than \$1,000 to construct. No buildings were to be constructed with flat roofs, tar-paper cladding, or second-hand materials. Outhouses were prohibited, as was the storage of junk or refuse. Buildings had to be set back a minimum distance from the street and a neighbor’s property line.

Most dwellings in these areas were used seasonally before World War II. Bungalows and cottages interspersed among the camps were built for occupancy in all weather. Those built as camps and therefore probably unheated had to be winterized for year-round use. An early advertisement for Holman Pine Rest urged buyers: “Have a home or camp in Sudbury; ½ acre. \$50; plenty of room for garden and other things; \$5 down, balance in a year; special plan to keep out hoodlums” [*Boston Globe*, April 28, 1927]. The special plan likely referred to the need to secure camps during the months they were unoccupied.

During the Depression, anecdotal evidence suggests that some camp owners may have retreated to their summer cottages for year-round living as a result of reduced financial circumstances; further research is merited. After World War II, these neighborhoods became increasingly suburban in character, with more residents winterizing their properties for year-round occupation. By the late 20th century, many of these small dwellings were significantly altered, enlarged, or replaced. While few individual buildings appear to retain their original (1920s-1940s) design and materials, the significance of the larger grouping as a whole merits further study.

Resources associated with this context are predominantly residential buildings, some with notable early garages, which commemorate the role of the automobile in this type of development. For suburban dwellings, the Colonial Revival is the most prevalent architectural

style of this period, typically modest in character. The Craftsman style is most common among the small camps, cottages, and bungalows built as seasonal dwellings.

Recommended Individual Listings

Herbert and Mary Newton House, 22 Indian Ridge Road (1925, SUD.419)

Webster and Beatrice Cutting House, 354 Maynard Road (ca. 1925, SUD.428)

Southwest School, 11 Peakham Road (1930, SUD.48)

Starratt House, 23 Pokonoket Avenue (ca. 1918-1921, SUD.446)

Liebman House, 250 Raymond Road (ca. 1922-1929, SUD.449)

Recommended for Further Study

E. Gertrude Hurlbut Rond House, 18 Concord Road (ca. 1908-1910, SUD.379)

Albert and Harriet Young House, 84 Concord Road (ca. 1906, SUD.386)

The two properties named above are included in the King Philip local historic district.

Further study of the significance and integrity of the district as a whole is recommended in order to establish its eligibility as a National Register district, in which case these two properties would be considered contributing resources.

Karl and Marion Donaghy House, 15 Maple Avenue (ca. 1922-1926, SUD.366)

This property is included in the George Pitts Tavern local historic district. Further study of the significance and integrity of the district as a whole is recommended in order to establish its eligibility as a National Register district, in which case this property would be considered a contributing resource.

Ferdinand J. Lehr House, 48 Maplewood Drive (ca. 1937, SUD.426)

Arthur and Mary Chalk House, 11 Pinewood Avenue (ca. 1928-1932, SUD.442)

Irving and Ethel Litchfield Camp, 21 Pinewood Avenue (ca. 1932, SUD.444)

In order to evaluate potential National Register eligibility of the three properties named above, additional field investigation and research are recommended for the Pine Lakes neighborhood, which encompasses nearly 200 parcels north of Hudson Road between Willis Lake Drive and Crystal Lake. Eight dwellings at Pine Lakes were recorded in this survey project.

FURTHER STUDY RECOMMENDATIONS

Sudbury retains a number of high-quality historic resources that are not yet included in the town's historic properties inventory. While this project expanded coverage of 20th century resources, especially in neighborhoods outside designated historic districts, important survey work remains. **Historic resources from the 1940 to ca. 1970 period**, one of tremendous growth in Sudbury, merit additional survey, to help the Sudbury Historical Commission advocate and plan for the preservation of those resources rather than simply react to applications for their demolition. The Commission is urged to confine future survey work to recording resources that retain their historic integrity, or the character-defining physical materials, design features, and aspects of construction that contribute to their historic appearance. In Sudbury, a number of commercial, municipal, and private institutional buildings from the 1940 to ca. 1970 period merit inclusion in the inventory, along with custom-built dwellings and residential subdivisions built on speculation. A townwide reconnaissance survey is the first step in building a working list of target properties.

During this project, the Sudbury Historical Commission identified certain properties for which **new or updated inventory forms** were desired but not completed. Other properties were dropped from the survey list after research indicated a post-1939 construction date. New or updated inventory forms for the following properties merit consideration in the future:

Boston Post Road, 610
Candlewood Circle, 5
Concord Road, 379
Concord Road, 427
Concord Road, 509
Garrison House Lane, 10

Garrison House Lane, 12
Lakewood Drive, 11
Maynard Road, 174
Old Sudbury Road, 277
Plympton Road, 107
Tippling Rock Road, 24

Sudbury lacks an up-to-date **historic context for architectural styles and building types** represented in the town from the 17th century to ca. 1970. Without this overview, it is difficult to assess the architectural significance of Sudbury's historic buildings relative to one another, especially those located outside historic districts. Such an assessment is vital to future preservation efforts, such as identifying additional properties potentially eligible for listing in the National Register of Historic Places, or justifying the significance of buildings under the Demolition Delay Bylaw. The town's historic properties inventory, National Register nominations, and local historic district documentation would inform this context, which should be communitywide in scope and reflect the full range of historic building uses extant in Sudbury.

The Sudbury Historical Commission would like to obtain **in-depth documentation of historic barns and other agricultural buildings**, ideally in the form of a thematic survey that produces MHC inventory forms. Such a survey would include inspection of building interiors and provide information on construction methods and materials. Estimates of construction dates supplied in previous survey projects, which were not scoped to include evaluation of building interiors, could then be updated to reflect this new information.

This survey project recorded several individual properties (ca. 1897 – ca. 1970) associated with a historic context for travel and tourism on the Boston Post Road and the growth of the Wayside Inn complex. **Further study of the Wayside Inn Local Historic District** (SUD.F, LHD 1967), encompassing two areas identified as District 1 and District 2 (see map in SUD.F), is recommended. An expanded area inventory form for this sizable local historic district, which incorporates the 1973 National Register district in its entirety, should include a discussion of 20th-century residential development north and northeast of the Inn. The updated and expanded area form would enable MHC staff to evaluate the larger area for National Register eligibility. Until such time as the area form is updated, a draft Boston Post Road-Wayside Inn travel and tourism context developed during the 2020-2021 survey project is provided here for reference.

Known in deeds and Sudbury directories as the Boston-Worcester Road or State Road, Boston Post Road was designated in the 1920s as a part of U. S. Route 20, a transcontinental highway between Boston and Newport, Oregon. As the highway stimulated local and regional tourism, businesses and property owners along the route sought to cater to auto-borne customers. In tandem with the new residential development that the automobile made possible for commuters, new commercial enterprises, both small and large, sprang up. These seem mainly to have concentrated along Boston Post Road. Foremost among these was the vast Wayside Inn complex as developed by automobile magnate Henry Ford. Visitors to the Wayside Inn and other through-traffic also inspired small businesses such as candy makers, bakeries, tea houses, and restaurants, many owners selling their products from their houses. Automobile traffic in the area was sufficiently heavy by 1926 as to damage the foundation of the Wayside Inn, prompting Ford to spend \$280,000 constructing a Route 20 bypass to the south. The original path of Route 20 past the Inn is now known as Wayside Inn Road.

The Wayside Inn as a tavern and “house of entertainment for travelers” dates to ca. 1716; it continued operating as an inn until 1861, followed by a period of private tenants. Poet Henry Wadsworth Longfellow (1807-1882) visited what was then known as Howe Tavern in 1862. His epic poem, *Tales of a Wayside Inn*, was published in 1863, and inspired nationwide interest in the property. In 1897, the property was purchased by Boston-area businessman Edward Lemon, who re-instated the inn business and intended “to reopen the inn as a summer resort and mecca for literary pilgrims” (Plumb: 92). Lemon hosted gatherings of literary, historical, and cultural organizations, including artists and actors; installed a private art gallery; and established an upscale restaurant. By 1904, he had welcomed 6,000 guests from around the country, aided by the advent of automobiles and more leisure time for Americans of different economic classes.

Edward Lemon died in 1919, and the Wayside Inn property was acquired by Henry Ford in 1923. By 1945, Ford had accumulated nearly 3,000 acres of land surrounding the Wayside Inn and approximately 30 other historic properties in the area, moved antique buildings into the complex, established schools and a church, created a full-scale farm, and established a variety of small-scale commercial operations. Ford’s vision of the Wayside Inn complex was a complete village that would promote Colonial-era values and appreciation for the past. World War II had a detrimental effect on the inn’s operations, however, and funds were insufficient to maintain the

vast array of buildings and landscapes comprising the Wayside Inn property. Between 1946 and 1951, the Wayside Inn Trust sold off more than 2,300 acres of land and buildings.

Resources associated with this context are primarily related to Henry Ford's Wayside Inn complex. They include agricultural and garden landscapes, dwellings, barns and other outbuildings, school and religious buildings, mill buildings and workshops, and the Inn itself. Resources represent a range of Georgian, Federal, Greek Revival, and Colonial Revival styles. Many are already listed in the National Register.

Previous survey work conducted about 2010 recommended the King Philip Historic District (SUD.I, LHD 1972, expanded 2005) be considered for listing in the National Register of Historic Places. Property-specific documentation completed in the 2020-2021 survey project did not yield enough new data to affirm this recommendation, or offer a new National Register recommendation for the George Pitts Tavern Historic District (LHD 2008). Further study of **National Register listing potential of the King Philip Historic District and the George Pitts Tavern Historic District** is recommended. To evaluate these two areas for the National Register, MHC would require updated and expanded area inventory forms (Form A), including new photographs.

The Sudbury Historical Commission could consider working with the town's Planning and Community Development Department and GIS consultant to **develop a GIS map identifying pre-1940 buildings in Sudbury** to facilitate administration of the Demolition Delay Bylaw. Such a map would be a useful public information tool for current and prospective property owners, and help the Commission identify additional pre-1940 buildings that merit preservation and have not been inventoried. The 1943 U. S. Geological Survey topographical maps for Sudbury, based on surveys conducted in 1940-1941, would be a useful starting point for developing this map. Further information on suggested map parameters was submitted to the Director of Planning and Community Development in April 2021.

Pine Lakes is the largest subdivision of the recreational camps, or seasonal dwellings, built in Sudbury in the 1920s. The neighborhood has further significance for its transition to a year-round suburb, illustrating the activities of Boston-area families who established their permanent residences in Sudbury during the Depression and World War II eras. While a sampling of Pine Lakes buildings was recorded in this survey project, the larger neighborhood (roughly 200 dwellings) merits additional study, and a **neighborhood history of Pine Lakes** is recommended. This history would allow research that cannot be accommodated in a typical survey project, such as tracing the movements of individual families from the Boston area to Sudbury, in order to determine the circumstances that led them to become permanent residents of the town.

To guide future municipal preservation efforts, the Sudbury Historical Commission has expressed interest in preparation of a **historic structure report (HSR)** for Sudbury Town Hall, 322 Concord Road (1930-1932, SUD.103) and a **historic paint analysis** for the White Building, 278 Old Sudbury Road (former Center School and Sudbury High School, 1891/1926, SUD.155).

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FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

F04-0803	Maynard		SUD.402
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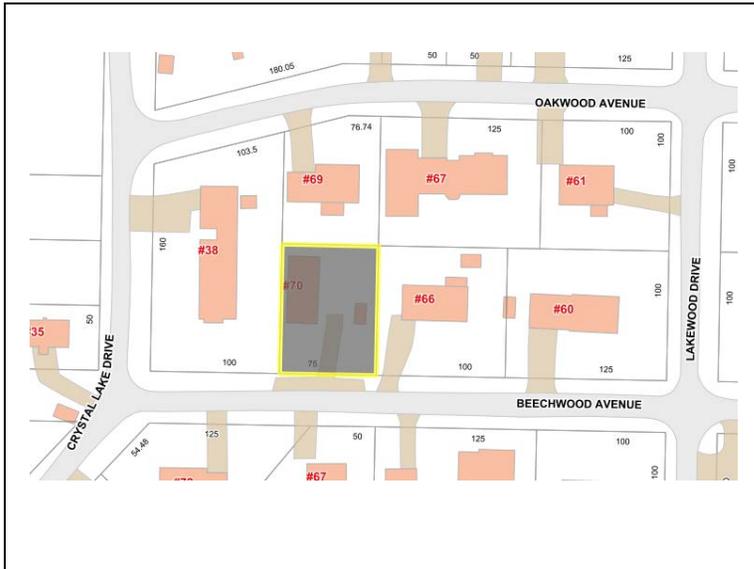
Photograph



Façade (south) and east elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
Pine Lakes

Address: 70 Beechwood Avenue

Historic Name: Orin and Julia Delaney Camp

Uses: Present: residential
Original: residential

Date of Construction: ca. 1932-1934

Source: deeds

Style/Form: no style/bungalow

Architect/Builder: not determined

Exterior Material:

Foundation: concrete

Wall/Trim: vinyl/vinyl

Roof: asphalt shingle

Outbuildings/Secondary Structures:
garage

Major Alterations (*with dates*):
vinyl siding, bow windows, 1/1 window sash (L 20th c)

Condition: fair

Moved: no yes **Date:**

Acreage: 0.17 acres

Setting: Early 20th c residential subdivision developed with small cottages on small lots. Flat lot with a modest front setback, maintained chiefly in gravel.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

70 BEECHWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.402

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

70 Beechwood Avenue is a small rectangular building rising 1½ stories to a front gable roof. A hip-roofed sunroom spans the full width of the façade. A chimney rises up the center of the east slope of the roof. Vinyl clads the walls and forms wall and window trim. Visible windows are typically 1/1 (replacement) sash. The three-bay façade has a center entrance with a single-leaf door flanked by modern bow windows with casement sash. The half-story of the façade is clad with board and batten siding, which may be original or early. The long east elevation has two pairs of windows and a single window towards the rear. The west elevation is not visible from the street.

Well maintained, 70 Beechwood Avenue is distinctive as a survivor of early 20th century camp development in Sudbury. Notable architectural features include the building's compact massing, full-length sunroom across the front, and possibly the half-story siding. Application of vinyl siding and trim, replacement window sash, and bow windows on the façade significantly compromise the historical integrity of this property

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house is associated with a boom in recreational camp development in Sudbury between the World Wars. Pine Lakes offered seasonal visitors a wooded waterside setting for hunting, fishing, swimming, and boating on Great Pond (Willis Pond) and Bottomless Pond (Crystal Lake), the latter about 300 feet west of this property. Until the 1920s, this area of Sudbury, west of the town center, was sparsely settled. John Adams of Medford acquired more than 78 acres of land and woodlot off Hudson Road near the water. He operated a real estate trust with Eugene B. Hamilton of Somerville and Ervin R. Dix of Arlington, who was also a lumber dealer. In addition to Pine Lakes, the trust marketed at least four other subdivisions in eastern Massachusetts during the late 1920s and early 1930s: Silver Lake Pines in Wilmington, Riverview in Tewksbury, Lakewood Pines in Stoughton, and River Pines in Billerica. Seasonal cottages, known as camps, and small houses were built at Pine Lakes in the first phase of development, from 1927 through the early 1940s. After World War II, the neighborhood became increasingly suburban in character, with more residents occupying their properties year-round.

Orin Aloysius Delaney (1893-1977) and his wife, Julia Claire (Leary), owned this property for fifty years. Delaney purchased three building lots (7,500 square feet total) in 1932 from Eugene Hamilton. While many Pine Lakes residents converted their camps to year-around use after World War II, and retired to Sudbury, it appears uncommon for original owners like the Delaneys to retain their dwelling five decades later. Before the war, the Delaneys lived in Roxbury, where Orin was a longtime City of Boston police officer in the traffic division. Deeds do not explicitly reference buildings on this property until 1948, though Julia Delaney was assessed for a camp house in 1942, and the building is present on an aerial view of Pine Lakes dating to 1938. It seems likely the house was constructed by 1934, when Orin Delaney conveyed the title to his wife.

Neighborhood residents formed the Pine Lakes Protective and Improvement Association by 1942, which maintained a club house. Its successor group, formed in 1964, was the Pine Lakes Civic Committee, which advocated for road improvements, demolition of abandoned buildings, and improvements to gas and water distribution systems [Scott, 155].

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

70 BEECHWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.402
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- USGS topographical maps: 1943, 1950 (Maynard quadrangle).

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

K09-0401	Framingham	SUD.B, I	SUD.253
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LHD 04/10/1972

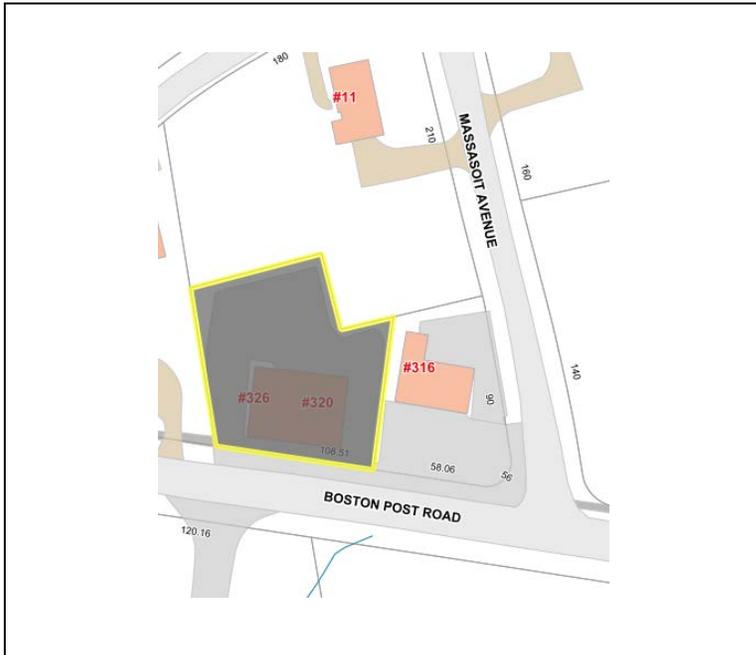
Photograph



Façade (south) and east elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 320-324 Boston Post Road

Historic Name: Richard D. Morse Barn

Uses: Present: commercial block
Original: agricultural - barn

Date of Construction: ca. 1856-1875

Source: maps and atlases, tax valuations

Style/Form: no style

Architect/Builder: not determined

Exterior Material:

Foundation: stone, concrete

Wall/Trim: aluminum/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures: n/a

Major Alterations (*with dates*):
adaptive re-use as a commercial building (front porch, fenestration, dormers?) (ca. 1922-24) - replacement sash (L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:** ca. 1922-1924

Acreage: 0.29 acres

Setting: Located on a heavily-traveled east/west thoroughfare through South Sudbury. On the edge of a commercial neighborhood with a heterogeneous mix of buildings of varied ages, forms, and styles. The building stands on a generally flat lot, surrounded by asphalt pavement.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

320-324 BOSTON POST ROAD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I

SUD.253

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

320-324 Boston Post Road is a simple rectangular building rising 2½ stories to a side gable roof without returns or chimneys. A full-length porch extends across the entire façade. A shed-roof dormer occupies most of the front slope of the roof, and another shed-roofed dormer is visible at the eastern end of the rear slope. Walls are clad with aluminum siding without appreciable trim; the second story slightly overhangs the ground floor on the gable ends. Windows typically occur singly and without trim. 6/6 replacement sash are characteristic on the sides and the half-story of the façade, and large picture windows dominate on the first floor of the façade. The façade has a four-bay porch with a concrete base, shed roof, square posts with angled braces, and a modern railing. The asymmetrically composed storefronts display a medley of display windows, two plain single-leaf doors, and a center doorway having a mid-20th century, Colonial Revival style surround. Symmetrically fenestrated, the façade dormer has windows grouped in a 1-2-2-1 pattern. The utilitarian west elevation has a doorway towards the back of the first floor, two windows and a doorway with wood stairs on the second floor, and a window centered in the gable peak. The more regular east elevation has paired windows and two single windows on the first floor, three regularly spaced windows across the second floor, and a window centered in the gable peak.

Constructed as a barn, 320-324 Boston Post Road survives as a considerably altered commercial building. Notable features from its original incarnation include its simple form and overhanging gable ends. Artificial siding, replacement window sash, and a plethora of *ad hoc* commercial storefronts detract significantly from the building's historic integrity.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Suburban development accelerated in South Sudbury in the 1920s as the popularity of the automobile, combined with existing railroad service, offered more options for commuter transportation to Boston. According to local tradition, this commercial block is a former barn originally located behind the Richardson-Morse House, 22 King Philip Road (1840s, SUD.37, see form for further information on the farm there). Deed research suggests Lawrence B. Tighe had the barn moved to its present site between 1922 and 1924, then renovated for commercial use. He acquired this land on Boston Post Road in 1922 and the King Philip Road property in 1924. The barn may have been moved as Tighe and his sister, Edith M. Starrett, prepared to subdivide nearly 33 acres associated with the Richardson-Morse House, where they both resided in 1920. This mid-1920s subdivision created the King Philip Heights neighborhood on the western and southern slopes of Green Hill.

Boston Post Road was called Main Street in the early 20th century and later State Road. Lack of a street numbering system in Sudbury before the 1960s complicates efforts to identify early tenants of this building. The South Sudbury post office was here some time between 1937 and 1951; the village post office operated from various locations on Boston Post Road before its move to Concord Road on June 7, 1951 [Greene]. It is possible Lawrence Tighe used the former barn in conjunction with an automobile filling and service station he established immediately east of this building. In addition to his position as an agent for the New England Telephone and Telegraph Company, Lawrence Tighe is listed in town directories as proprietor of the South Sudbury Filling Station in 1930, known as the Cities Service Filling Station in 1936. Tighe and his wife, Gladys, retained ownership of this former barn property until 1955, selling to Sudbury realtors and insurance agents Leslie Hall and his son and business partner, William Hall.

This building has been known by its current address since the 1960s. Alan Alford, partner in the law firm of Alford and Tuck, owned the building in the 1960s and 1970s, at which time it was known as the Lawyers' Building, with offices upstairs. Other businesses located here since that time have included the Sudbury branch office of an employment service; a fabric, notions,

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

320-324 BOSTON POST ROAD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.B, I

SUD.253

and party supplies store; a hair salon; a taxi service; an art gallery; a barber shop; and the offices of the *Sudbury Town Crier* newspaper. A store selling rare books, established here in 1988, has continued under new ownership since 2007.

Lawrence B. Tighe (1897-1971) lived in Sudbury from ca. 1920 to 1968, when he retired to Vermont. His public service in the town included twenty-five years as a Selectman and fourteen years as Town Clerk. He was a member of the Finance Committee (1933-1936), Veterans' Agent (1948-1964), and a volunteer member of the Fire Department (1931-1958).

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FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

K09-0029	Framingham	SUD.B, I	SUD.372
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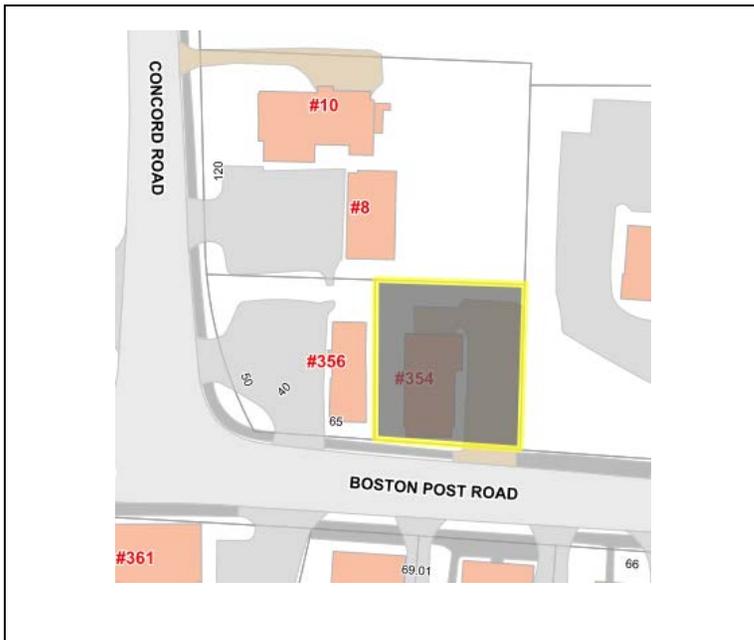
LHD 04/26/2005

Photograph



West and façade (south) elevations.

Locus Map



Town/City: Sudbury
Place: (*neighborhood or village*): South Sudbury

Address: 354 Boston Post Road
Historic Name: David E. Marshall House

Uses: Present: specialty store
Original: residential

Date of Construction: ca. 1900

Source: census, deeds

Style/Form: no style

Architect/Builder: not determined

Exterior Material:

Foundation: stone
Wall/Trim: vinyl/vinyl
Roof: asphalt shingle

Outbuildings/Secondary Structures: n/a

Major Alterations (*with dates*):

siding, porch posts, rear ells and additions, replacement windows (20th - E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 0.15 acres

Setting: Located near the intersection of two heavily-traveled thoroughfares in the commercial center of South Sudbury. Surrounding development is a heterogeneous mix of buildings of varied ages, forms, and styles. The building stands on a small, generally flat lot, close to the street.

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

354 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I

SUD.372

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

354 Boston Post Road consists of a rectangular main block with a rear ell and extension. The main block rises 2½ stories to a front gable roof without gable returns; a short chimney emerges near the center of the ridgeline. Walls are clad and trimmed with vinyl; the top of a flat wood corner board is evident at the southwest corner of the main block. Windows typically occur singly and have 1/1 replacement sash with vinyl trim. Two horizontal, Queen Anne style windows survive on the east elevation of the main block. The façade is dominated by a three-bay porch spanning the width of the building, with a hip roof supported on modern turned posts. Inside are a picture window on the west and two single-leaf doors to the east. Surmounting the porch are two widely-spaced windows at the second floor and a slightly smaller window centered in the half-story. Three irregularly spaced windows are visible on the second floor of the west elevation, while the east elevation of the main block has an angled bay window towards the back of the first floor and a single window centered above it. The position of the Queen Anne style windows towards the front of this elevation suggests an offset interior stairway. A two-story, gabled rear ell has a large cross-gabled dormer with paired windows on its east elevation; it surmounts a shed-roofed extension at the first floor. Photographs in *Images of America; Sudbury* (pp. 116 and 122) show the building with a one-story, gabled ell at the rear and its historic front porch.)

Due to extensive alterations, 354 Boston Post Road is a relatively non-descript example of turn of the 20th century residential development in Mill Village. Notable architectural features include its simple massing, full-length front porch, fenestration pattern, bay window, and Queen Anne sash. Artificial siding, replacement windows, and modern porch details detract from the historic integrity of the building.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Representing residential infill construction in Mill Village at the turn of the 20th century, the David E. Marshall House is associated with a machinist who worked in the mills on Wash Brook. David Edwin Marshall (1851-1917) and his wife, the former Elizabeth J. Cole, emigrated from Canada to the United States in 1881 and 1879, respectively. Marshall worked at the Hurlbut, Rogers and Company machine shop behind the present Mill Village shopping area [*Images*, 116]. In 1900, they shared their household with another Canadian immigrant: H. Jasper Humphrey, a boarder employed as a telephone operator. While the 1900 census indicates the Marshalls owned their home, David Marshall did not acquire the title until 1901. Edgar W. Goodnow, Howard M. Goodnow, and Ida E. Goodnow, all of Sudbury, conveyed the property to Marshall; the deed does not specifically reference the house on the property. Elizabeth Marshall remained in the house following her husband's death in 1917, and was employed in 1926 as a store keeper, likely for a business in the village. Having no children, she moved about 1930 to Bridgeport, Connecticut, to reside with her nephew, a Professor Greenwood, and died there in 1935.

This house also was the residence of the longtime postmaster for the U. S. Post Office at South Sudbury, Anna (Richter) Wohlrab. A widow who moved to Sudbury from Clinton, she purchased the house from the Greenwood family in 1937. She resided here in 1940 with her daughter, son, and daughter-in-law, and the house remained in the family until 1967. Anna Wohlrab was the postmaster at South Sudbury from 1935 until her retirement in 1954. During her tenure, the post office in the village operated from various locations on Boston Post Road before its move to Concord Road on June 7, 1951. The Boston Post Road locations included a building (demolished) on the site of 356 Boston Post Road (SUD.373), as well as the former Richard D. Morse Barn, 320-324 Boston Post Road (SUD.253). Post office operations based at South Sudbury and the town center were consolidated and renamed the Sudbury Post Office on August 24, 1957, remaining at the Concord Road location

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

354 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.B, I

SUD.372

until 1961 with the construction of a new building at 18 Union Avenue [Greene]. Valeska Pride, daughter of Anna Wohlrab, also worked for the post office in Sudbury for 35 years until her own retirement in 1971. She and her husband moved to 66 Dudley Road (see form) in 1941.

Francis J Caruso purchased this house in 1967. He was granted a variance from the Board of Appeals to operate his retail music store, the Sudbury Music Company, and an apartment in the building.

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SUPPLEMENTARY IMAGES



Façade (south) and west elevations.



Historic image. Source: *Images of America; Sudbury*.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

K08-0026	Framingham	SUD.B, D, I	SUD.374
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LHD 04/26/2005

MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 359 Boston Post Road

Historic Name: John W. Garfield Wheelwright Shop

Uses: Present: commercial - store
Original: commercial – wheelwright shop?

Date of Construction: ca. 1887

Source: maps and atlases, deeds

Style/Form: no style

Architect/Builder: not determined

Exterior Material:

Foundation: concrete (slab)

Wall/Trim: vinyl/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures: n/a

Photograph



Façade (west) and south elevations.

Locus Map



see continuation sheet

Major Alterations (*with dates*):
artificial siding, storefront picture windows, side porch, attached shop, rear addition (L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 6.3 acres

Setting: Located near the intersection of two heavily-traveled thoroughfares in the commercial center of South Sudbury. Surrounding development is a heterogeneous mix of buildings of varied ages, forms, and styles. Part of a larger parcel of commercial buildings that slopes down to the south and is maintained chiefly in paved surface parking.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

359 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, D, I

SUD.374

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

359 Boston Post Road is an L-shaped building, rising 2½ stories to a side gable roof on the main block and an end gable on the rear ell; no gable returns. The main block and ell share a continuous north wall. A tall chimney is located on the north roof slope of the rear ell. Windows are typically regularly arrayed, occur singly, and have flat wood trim. Sash occur in a variety of patterns, including 1/1, 2/2, and 6/6 lights. The façade (west elevation) has two modern multi-pane picture windows and a short vertical-board door at the first floor. The second floor has a traditional arrangement of five window bays and band molding in a flat elliptical shape. The south elevation has a modern shed-roofed porch across the first floor, featuring square posts, a hip roof, a single-leaf door in each of the outer bays, and three banded windows in the center. The upper floors of this elevation include two symmetrical windows on the second story and a center window in the half-story. The north elevation has two windows visible on the first floor of the rear ell, four standard windows and one small square window across the entire second floor, and a center window in the half-story. The rear elevation of the ell has one window on each floor, including a small square window in the gable peak. The rear elevation of the main block is not clearly visible from the public way; its first floor is obscured by a one-story addition with a shed roof, vertical board siding, and two widely spaced windows. Nearly free-standing, a modern shop is appended to the southeast corner of the main block via the side porch. It is one story high, with a side-gabled roof, vertical board siding, a center entrance flanked by a single window and a multi-pane picture window on the façade, a single window on the south elevation, and a blank rear wall.

Well maintained, 359 Boston Post Road has been extensively altered by the application of artificial siding, replacement window sash, and new window openings and sash types. Modern additions on the side and rear are congruous in scale and form. Notable architectural features include the simple massing, second floor fenestration, and 19th century window trim that appears to survive on the second floor of the façade.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Although it has been much altered, this building is an important example of historic commercial and industrial development at Mill Village in the last quarter of the 19th century, the Garfield Wheelwright Shop is associated with John W. Garfield, Jr. Garfield built hand-crafted wheels for wagons and carriages and repaired worn or damaged wheels, using ash and other woods he slow-dried to his specifications. Deeds indicate a building was already present on the site when Garfield purchased this parcel in 1887 from Sudbury carpenter Benjamin H. Richardson, though the 1889 county atlas does not show a building here. Garfield was described as a carriage maker in 1892 and also maintained a blacksmith's shop [Garfield, "Mill Village"]. He was assessed in 1890 for stock in trade (valued at \$125), a boiler and engine (\$125), a shop (\$340), and three-eighths acre of land (\$150). Local tradition holds that in the late 19th century, the upper story of the wheelwright shop briefly housed a school. In 1905, after being obliged to move his family to a new home several times, John Garfield remodeled the upper story for use as their residence [Hall, citing 1905 newspaper article]. As late as 1942, this property encompassed the combined house and shop, a carriage shed, and a hen house. The outbuildings were later demolished.

John W. Garfield, Jr. (1860-1916) married Martha Ella Sanford in 1892 in Sudbury. They were born in Concord and Nova Scotia, respectively. Of their three sons – Sherrold, Fordis, and Elmond – the younger two were minors when their father died. Directories indicate Martha Garfield and son Fordis continued to reside here into the 1930s, with an address of Mill Road or Mill Lane. It is not clear how the shop space was used during this period, though it may have been leased for commercial purposes. This property remained in the family until 1943.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

359 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, D, I

SUD.374

The wheelwright shop is positioned on the east side of the former Mill Court or Mill Lane, a short route that led downhill from Boston Post Road to the Charles O. Parmenter grist and saw mill and the Hurlbut & Rogers Company machine shop. Both mill complexes were situated on Hop Brook and adjacent mill waterways immediately northeast of the Central Massachusetts (Boston & Maine) Railroad. As late as the 1920s, this wheelwright shop faced the old Parmenter mill yard to the west, across Mill Lane, at which time the parcel associated with Garfield's shop extended south to the brook. Mill buildings were demolished by the 1950s, leaving the wheelwright shop as the only remnant of late 19th-century industrial activity at this location. The shopping center south of this building was developed in the 1980s. Further research and building inspection is recommended to trace the early history of this building, whose five-bay façade and second floor windows placed tight against the eaves might suggest late 18th or early 19th century construction.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

359 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.B, D, I

SUD.374

LOCUS MAP

↑
north



INVENTORY FORM B CONTINUATION SHEET

SUDBURY

359 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.B, D, I

SUD.374

SUPPLEMENTARY IMAGES



Rear (east) and north elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

K07-0002	Framingham		SUD.403
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town/City: Sudbury
Place: (*neighborhood or village*): South Sudbury
Address: 555 Boston Post Road
Historic Name: Waldo and Emma Stone House
Uses: Present: residential
 Original: residential
Date of Construction: ca. 1890
Source: deeds, tax valuation
Style/Form: no style
Architect/Builder: not determined

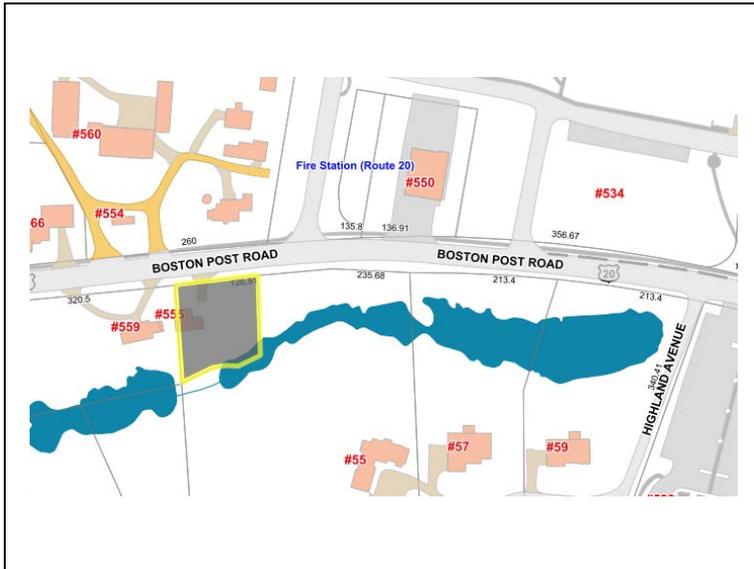
Photograph



East and faade (north) elevations.

Exterior Material:
 Foundation: stone
 Wall/Trim: vinyl/vinyl and wood
 Roof: asphalt shingle

Locus Map



Outbuildings/Secondary Structures: n/a
Major Alterations (*with dates*): artificial siding, modern deck, replacement window sash, new casement windows, loss of trim (L 20th c)

Condition: fair
Moved: no yes **Date:**
Acreege: 0.15 acres

Setting: Located on main east/west thoroughfare of Boston Post Road, dominated by large-scale commercial properties on north side of the street. A heterogeneous mix of small scale, L 19th and early 20th c housing survives on south side. Lot slopes down to the south behind the faade of the building; moderate front setback is maintained mostly in grass.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

555 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.403

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

555 Boston Post Road is a small rectangular building rising 1½ stories to an asymmetrical, front gable roof with slender gable returns. A small chimney rises from the ridgeline at the back of the roof. Walls are clad with vinyl siding and trim, although wood remains at the narrow flat fascia. Windows typically occur single and have 1/1 sash with no trim. The façade has an offset entrance with a modern, single-leaf door (no trim), two windows on the first floor, and paired windows with a wood mullion centered in the half-story. The asymmetrical west elevation has two widely spaced windows. The east elevation has a set of three modern casement windows towards the front and a single-leaf door towards the back. A large modern deck with square-section balusters in the railings is appended to the rear of this elevation.

555 Boston Post Road is a non-descript, much altered example of turn-of-the-20th century residential development in Sudbury. Due to substantial changes in fenestration, siding, and trim, this building no longer conveys an historic appearance.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

State Road West, as this area was known in the early 20th century, was a historic focus for greenhouse businesses and remains so today. In 1879, Hubbard H. Brown was the first Sudbury farmer to experiment with growing vegetables under glass, building a heated greenhouse and planting cucumbers nearby at his farm at 79 Nobscot Road (SUD.33). By the end of the 19th century, greenhouse businesses proliferated along this section of Boston Post Road. Growers here included William L. Stone and Son, producing cucumbers under 1,600 square feet of glass by 1889 and later expanding into floriculture. Homer Rogers, who maintained twelve greenhouses in two locations in Sudbury by 1897, producing cucumbers, tomatoes, and carnations, known as "pinks." His greenhouse manager, James Tulis, went on to open his own business, operating three large "pink houses" here by 1903 ["Greenhouses," 1, 3, 7].

This house is associated with William L. Stone and his wife, Delia, though the circumstances of its construction are unclear. While deeds suggest a construction date by 1890, which is consistent with the architectural features of the house, the 1908 atlas does not appear to show a house on this site. William and Delia's son, Waldo Lewis Stone (1864-1934) married S. Emma Adams, a teacher from Jaffrey, New Hampshire, in 1887. It appears the house was built for them directly across the road from the family business, originally on a three-acre tract that extended west to the intersection of Dudley Road with Boston Post Road. Father and son were jointly assessed in 1890 for a "new house" in addition to the main house and ancillary agricultural buildings on the family farm. The Stones owned 184 acres in the vicinity. This property was retitled to Emma Stone and her son, Earl I. Stone, in 1938, and remained in the Stone family until 1943.

H. P. Hood and Sons, Inc., the dairy company then based in Boston, owned this house from 1943 to 1945; the tenant during that period has not been determined. H. P. Hood maintained a retail location in Sudbury in the 1930s and may have continued the operation into the 1940s, housing a company employee here. Pasquale and Margaret (Adair) Sestito moved to Sudbury from Boston about 1943, and two years later purchased this house, where they resided until 1963. The Bartlett family, owners of the present greenhouses across the road, acquired the house in 1963.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

555 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.403
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FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

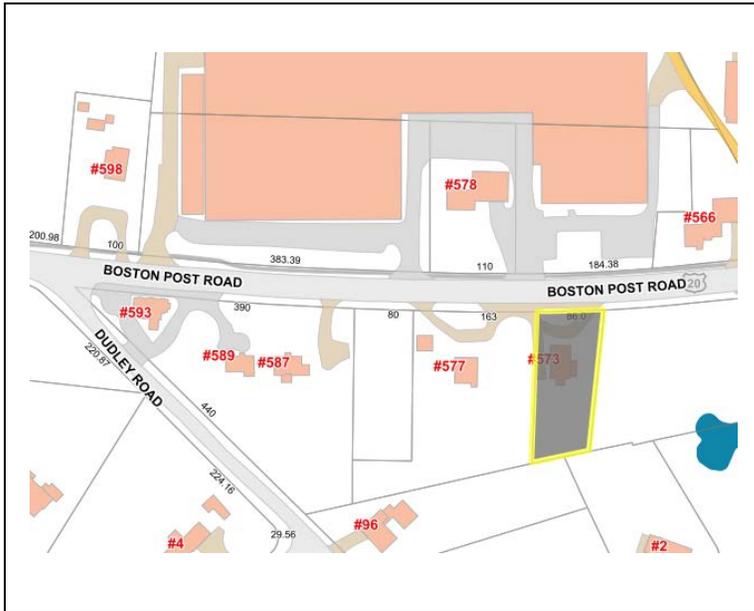
K06-0019	Framingham		SUD.404
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Photograph



East and façade (north) elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): **DRAFT** July 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 573 Boston Post Road

Historic Name: Rilla S. Hill House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1922

Source: deeds, directories

Style/Form: Craftsman

Architect/Builder: not determined

Exterior Material:

Foundation: concrete

Wall/Trim: vinyl/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:

n/a

Major Alterations (*with dates*):

artificial siding, blocked-in window and added doorway and deck on east side (L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 0.25 acres

Setting: Located on main east/west thoroughfare of Boston Post Road, dominated by large-scale commercial properties on north side of the street. A heterogeneous mix of small scale, L 19th and early 20th c housing survives on south side. Generally flat lot with a moderate front setback that is occupied mainly by a U-shaped, gravel driveway and hard-packed earth.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

573 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.404

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

573 Boston Post Road is a small rectangular building that rises 1½ stories to an asymmetrical side-gable roof without gable returns. The rear slope of the roof is lifted up by a high post stud wall; no chimney is visible from the street. Walls are clad with vinyl siding and wall trim. Windows typically occur single, in varied sizes, and have 1/1 sash with flat wood casings. The asymmetrical façade has a single-leaf, center door; an adjacent enclosed sunroom at the northwest corner of the building has a band of four windows on the facade and three on the west elevation. Paired windows are set at the east end of the façade. The west elevation has a period, single-leaf door positioned near the center of the first floor, with two windows towards the front and one towards the back. One window is centered in the gable peak and another is located towards the rear of the half-story. The similar east elevation has a single-leaf door and half-story window in the center, two windows openings (one blocked in) towards the front of the first floor and two towards the back. The half-story has three irregularly spaced windows as well as a single-leaf door that accesses a modern, second-story porch.

573 Boston Post Road is a modest building type that is common to early 20th century residential development in Sudbury. Notable architectural features include its simple massing, asymmetrical gable roof, a large amount of intact fenestration, and corner sunroom. Artificial siding, loss of trim, and replacement windows significantly detract from the historic integrity of the building.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Rilla S. Hill purchased this parcel of land in 1922 from William L. Stone, who operated a greenhouse business across the road. Known in deeds and Sudbury directories as the Boston-Worcester Road or State Road, Boston Post Road was designated in the 1920s as a part of U. S. Route 20, the transcontinental highway from Boston to Newport, Oregon. As the highway stimulated local and regional tourism, businesses and property owners along the route sought to cater to auto-borne customers. Rilla Hill earned an income as a candy maker in the 1930s, and probably sold candy from her house, a common practice in rural areas with easy automobile access. By 1940, she ran her own bakery business before retiring. Difficulties procuring materials, especially sugar, during World War II may have contributed to this decision.

Born in Maine, Rilla S. Hill (1876-1970) may have become acquainted with Sudbury through her connections with the family of Charles F. Goodnow; he and his father once owned the land upon which this house was built. Goodnow resided in Fryeburg, Maine, in 1900, when Rilla Hill was employed as a servant in the household. She later worked as a governess for a Waltham family in 1910, and returned to Fryeburg, residing with her sister and brother-in-law in 1920 shortly before relocating to Sudbury and building this house. Through her work for the Goodnows, Rilla Hill knew their daughter, Ruth (Goodnow) Perry, who built the house next door at 577 Boston Post Road (see form) in the 1920s. After selling her own house to her son, Ruth Perry resided here with Rilla Hill by 1940.

Rilla Hill took up candy-making about the same time that auto magnate Henry Ford acquired the Wayside Inn, 2½ miles west of this house, and developed the property as a historic destination. Automobile traffic in the area was sufficiently heavy by 1926 as to damage the foundation of the Inn, prompting Henry Ford to spend \$280,000 constructing a Route 20 bypass to the south [Scott, 108]. The original path of Route 20 past the Inn is now known as Wayside Inn Road. Rilla Hill and other joint owners retained title to this house until 1967, selling to florist John Pike Bartlett. His father began operating J. P. Bartlett Co., Inc. in

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

573 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	SUD.404
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1911 on site of the Stone greenhouses at 578 Boston Post Road. Robert S. Nichols, a florist who likely worked for Bartlett, resided in this house as a tenant in 1969.

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FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

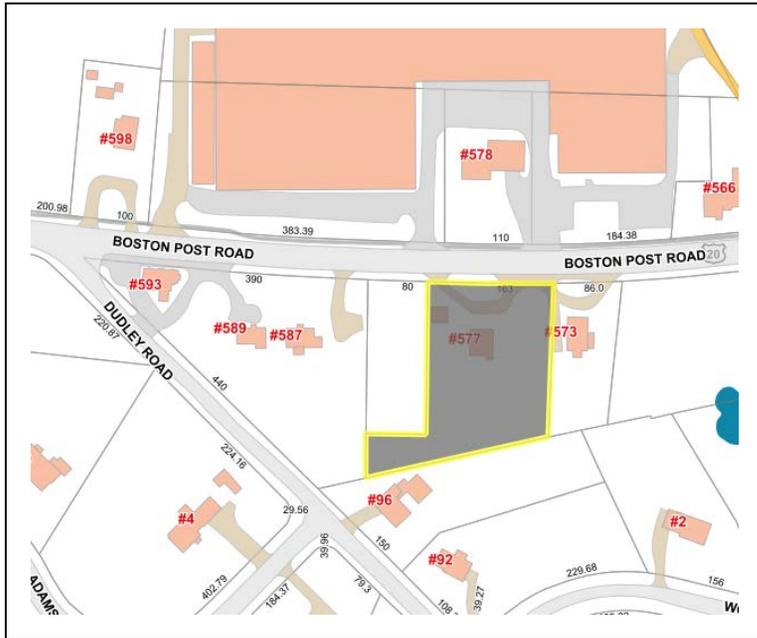
K06-0020	Framingham		SUD.405 SUD.406
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Photograph



Façade (north) and west elevations.

Locus Map



Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 577 Boston Post Road

Historic Name: Louis and Ruth Perry House

Uses: Present: residential
Original: residential

Date of Construction: ca. 1921-1926

Source: deeds, tax valuations, directories

Style/Form: Craftsman/bungalow

Architect/Builder: not determined

Exterior Material:

Foundation: concrete

Wall/Trim: vinyl/wood and vinyl

Roof: asphalt shingle

Outbuildings/Secondary Structures: garage

Major Alterations (*with dates*):
artificial siding, replacement window sash (L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 1.25 acres

Setting: Located on main east/west thoroughfare of Boston Post Road, dominated by large-scale commercial properties on north side of the street. A heterogeneous mix of small scale, L 19th and early 20th c housing survives on south side. Generally flat lot with a moderate front setback that is occupied mainly by a U-shaped, gravel driveway and lawn.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

577 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.405,
SUD.406

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

577 Boston Post Road is a rectangular house rising 1½ stories to an asymmetrical side gable roof; no gable returns. A small chimney rises from the center of the ridgeline. Walls are clad with vinyl siding and trim; remnants of wood trim survive at the roof edge fascia and the corner boards of the front dormer. Windows occur singly and in groups of two and three; they typically have 1/1 replacement sash and vinyl trim. The front slope of the roof extends downward to incorporate an enclosed sunroom across the entire front of the building. The symmetrical façade features a center, single-leaf door flanked by four 2/2 windows on each side. A low, shed-roofed dormer spans most of the façade and contains two widely-spaced pairs of modern 1-light windows. The asymmetrical side elevations are utilitarian, with fenestration of varied size, shape, and placement. The west elevation has three banded windows at the sunroom; five windows on the first floor of the main block, in a pattern of 3-2; and two closely spaced windows in the gable peak. The east elevation contains three windows at the sunroom; three windows in the main block, in a pattern of 1-2; and one visible window towards the front of the half-story.

Positioned to the northwest of the house, an original or early garage (SUD.406) is one bay wide with a front gable roof, exposed rafter ends, bevel-edge wood siding, and a pair of hinged flush doors on the façade (east elevation). Its north and west elevations are blank.

577 Boston Post Road is a modest building type that is prevalent in early 20th century residential development in Sudbury. Notable architectural features include its simple massing, asymmetrical gable roof with integral sunroom, a significant amount of intact fenestration, and intact, historic garage. Artificial siding, loss of trim, and replacement windows significantly detract from the historic integrity of the building.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house is associated with the greenhouse businesses operating here from the late 19th through the early 20th century, by which time farm acreage along Boston Post Road was gradually subdivided for residential development. In 1909, Louis D. Perry (1876-1936), a Sudbury farmer, married Ruth Goodnow, a daughter of Charles F. Goodnow and Gertrude B. Stone. Her father and grandfather had once owned the land upon which this house was built, selling it in 1890 to florist William L. Stone, who maintained his greenhouses across the road. Ruth Perry acquired 1½ acres from William Stone in 1919, though it appears the Perrys did not build right away; in 1921, Ruth was assessed for land only, and Louis for a poll tax only. The Perrys resided here by 1926, when Louis Perry was employed as a florist. He may have worked for James Lowell Bartlett, who established his greenhouse business – still in operation today – across the road on the former Stone holdings. Ruth Perry was active in the Sudbury Garden Club.

In 1938, Ruth Perry, then widowed, sold this house to her son and daughter-in-law, Chester L. E. and Bertha A. Perry. She moved next door by 1940, where she lived with Rilla Hill at 573 Boston Post Road (see form). Chester Perry, age 55, had a forestry position with the Federal government. After his death in 1949, Malcas and Ester Skog purchased the house in 1952, which remained in their family until 1997. Born in Vaasa, Finland to a Finnish father and Swedish mother, Malcas Skog came to Sudbury as a child, residing in the Landham Road household of Claude Ramstrom. After early employment as an auto mechanic, Malcas joined the Roxbury Carpet Company in Saxonville (Framingham), working there for fifty-eight years before retiring in 1974 in the position of card foreman. Ester Skog managed the cafeteria at Loring School in the 1960s, and their son, Leslie B. Skog, worked for the School Department, including driving school busses.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

577 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.405,
SUD.406

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SUPPLEMENTARY IMAGES



Garage: façade (east) and north elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

K06-0015	Framingham		SUD.407
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town/City: Sudbury
Place: (*neighborhood or village*):
 South Sudbury

Address: 598 Boston Post Road
Historic Name: Edward and Grace Brown House
Uses: Present: residential
 Original: residential
Date of Construction: ca. 1923-1926
Source: deeds, directories
Style/Form: Craftsman
Architect/Builder: not determined

Photograph



West and façade (south) elevations.

Locus Map

↑
north



Exterior Material:
 Foundation: stone
 Wall/Trim: wood shingle/wood
 Roof: asphalt shingle

Outbuildings/Secondary Structures:
 garage, shed

Major Alterations (*with dates*):
 replacement windows, new window openings, bay window on façade; modern porch posts? (L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 0.45 acres

Setting: Located on main east/west thoroughfare of Boston Post Road, dominated by large-scale commercial properties on north side of the street. A heterogeneous mix of small scale, L 19th and early 20th c housing survives, mainly on the south side. Generally flat lot with a deep front setback that is occupied mainly by a U-shaped, gravel driveway and lawn. Stockade fence lines most of sidewalk edge.

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

598 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.407

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

598 Boston Post Road is a rectangular building rising 2½ stories to a side gable roof with exposed rafter ends and no gable returns. No chimney is visible from the street. Shingle-clad walls are trimmed with a bed molding at the raking eaves. Windows occur singly and in pairs and typically have 1/1 or 6/1 replacement sash with flat casings. The façade (south elevation) features a three-bay porch across the entire first floor. Its utilitarian square posts stand on a low, shingled wall and support a shingled fascia and hip roof with exposed rafter ends. The first floor of the façade has an offset single-leaf door, two narrow windows in the middle, and a modern, angled bay window at the east end; the second floor has two evenly spaced pairs of windows. The symmetrical west elevation features two sets of paired windows at the first floor, two single windows with band molding at the second floor, and a center window with band molding in the half-story. The east elevation contains a small, angled bay window with a hip roof towards the front of the first floor, one modern slider or pair of casement windows towards the rear, one modern window towards the rear of the second floor, and one 6/1 wood window with band molding centered in the half-story. The corner of a one-story rear projection with a hip roof and exposed rafter ends is visible at the northeast corner of the house.

598 Boston Post Road is a modest building type that is common in early 20th century residential development in Sudbury. Notable architectural features include its simple massing, exposed rafter ends, and full-length front porch. Replacement windows, new window openings, and apparent loss of historic window trim significantly detract from the historic integrity of the building.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Known in deeds and Sudbury directories as the Boston-Worcester Road or State Road, Boston Post Road was designated in the 1920s as a part of U. S. Route 20, the transcontinental highway from Boston to Newport, Oregon. As the highway designation stimulated local and regional tourism, businesses and property owners along the route sought opportunities to cater to auto-borne customers. Grace F. Brown of Maynard purchased this parcel in 1923 from Frederick R. Stone, whose father, Waldo Stone, and grandfather, William L. Stone, previously operated their greenhouse business here. Her husband was Edward H. Brown of Maynard, a restaurant manager with experience operating both a lunch cart and a café in downtown Maynard. The Browns resided here by 1926, at which time Edward Brown was proprietor of Brownie's Lunch. Short-lived, the business venture may have operated either from this dwelling, or in a mobile lunch cart on the property.

For most of the next nineteen years, Olive W. Foss, wife of Sudbury real estate broker Fred N. Foss, owned this house. The Fosses held title to several properties in Sudbury and it is not clear whether they resided here; the 1930 census places them in another location on Boston Post Road. Their tenants from 1926 to 1945 have not been determined. John and Rosa M. Piacitelli lived here from 1945 to 1954, followed by Hazel Gould, a widow, and her family, who owned the house until 1973. For fifteen years before her death in 1969, Mrs. Gould operated the Pink Door Antique Shop on Boston Post Road, possibly from this house.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

598 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.407

"Greenhouses in Sudbury, 1889-1914." Timeline of greenhouse development abstracted from scrapbook of newspaper clippings compiled by Eliza, Almira, and Ellen Clark of Sudbury. Timeline prepared by H. W. Baldwin. 1978-1979. Local history vertical files. Goodnow Library, Sudbury.

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SUPPLEMENTARY IMAGES



Façade (south) and east elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

K06-0014	Framingham		SUD.408
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Town/City: Sudbury
Place: (*neighborhood or village*): South Sudbury

Address: 604 Boston Post Road
Historic Name: Frederick and Nina Stone House
Uses: Present: commercial
Original: residential
Date of Construction: ca. 1910-1920
Source: census, directories
Style/Form: Craftsman
Architect/Builder: not determined

Photograph



West and façade (south) elevations.

Exterior Material:
Foundation: concrete
Wall/Trim: wood shingle/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures: shed, kennel

Major Alterations (*with dates*):
doors on west elevation (21st c)

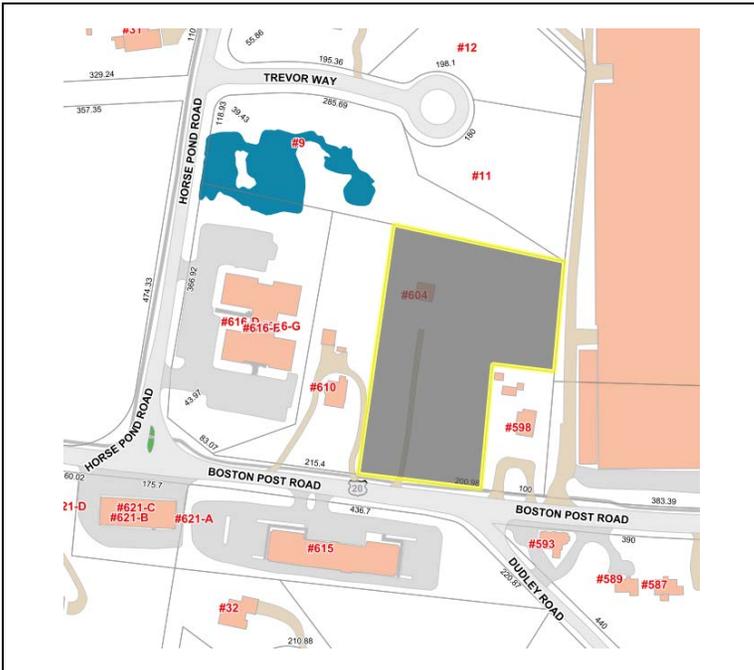
Condition: good

Moved: no yes **Date:**

Acreage: 2.19 acres

Setting: Located on main east/west thoroughfare of Boston Post Road, dominated by large-scale commercial properties on north side of the street. A heterogeneous mix of small scale, L 19th and E 20th c housing survives, mainly on the south side. Building is set well back from the street on a generally flat lot. A stone wall with pillars is parallel to and approx. 30 feet in front of the house; within that yard, two low stone walls run perpendicular to the house.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

604 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.408

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

604 Boston Post Road is a small rectangular cottage rising 1½ stories to a side gable roof without gable returns. A small chimney is positioned slightly off-center at the ridgeline. Walls are clad with wood shingles, trimmed only with narrow, flat, raking fascia. Windows occur singly on the side elevations and in pairs on the façade (south elevation). They typically have 6/6 wood sash and band molding. The façade contains a slightly off-center entrance with one pair of windows to the west and two pairs of windows to the east, and a small shed-roofed dormer with two small windows. The entrance consists of a single-leaf door with ¾-height sidelights and a classical enframing, fronted by a shallow portico with slender square posts and a segmentally arched roof. The west elevation has a single-leaf door with flat casings and a modern deck positioned slightly off-center; one window is located to each side on the first floor. Centered in the half-story is a large square opening (possibly the original location of a hayloft door), now filled in with vertical board siding and a four-light transom. The east elevation features two widely spaced windows towards the front and a door in the back corner with a modern deck and stairway on the first floor. A 6/6 window is centered in the half-story.

Well preserved and well maintained, 604 Boston Post Road is a modest, vernacular cottage with a relatively picturesque character. Notable architectural features include its stone site walls, spare massing, slightly off-center placement of windows and doors, intact fenestration and trim, possible hayloft door opening, and attention to detail at the main entrance.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

State Road West, as this area was known in the early 20th century, was a historic focus for greenhouse businesses and remains so today. William L. Stone grew cucumbers under 1,600 square feet of glass by 1889. He and his son, Waldo Stone, owned 184 acres here in 1890 and subsequently expanded the business into floriculture. It seems the business was dissolved by 1911. A number of early 20th-century houses on this section of Boston Post Road were associated with the Stone family or built on land the Stones sold to others.

Frederick R. Stone (1890-1971), grandson of William L. Stone and son of Waldo Stone, built this house by 1920. That year, the U. S. census shows him as owner of a house on State Road, one of five associated with the Stone family in the immediate vicinity. He and his wife, Nina A. (Page), were married in Sudbury in 1909, and resided with his parents at 555 Boston Post Road (see form) through at least 1910. Initially employed as a farm laborer in the family greenhouse business, Fred Stone worked for Federal and state government for forty-five years, retiring as a state forester about 1955. As a forest ranger, he was stationed ca. 1918 to 1920 in the observation tower on Nobscot Hill in Framingham and South Sudbury, scanning for forest fires. Stone belonged to the New England Veterans Fireman's League and the Minuteman Forest Protective Association. He served with the American Expeditionary Forces in World War I and as a captain with the Army Corps of Engineers in World War II. A drummer who played in area bands, Stone also organized and served as drum major for the drum and bugle corps of the American Legion post in Marlborough, winning three national championships. He was a member of the Veterans of Foreign Wars post in Marlborough and a fifty-year member of the Charles A. Welch Masonic Lodge AF and AM in Maynard. The Stone family owned the house until 1972.

Local tradition holds that this property was the original location of the Sudbury Fire Department. Given Fred Stone's professional association with forest fire prevention, some connection with fire-fighting seems reasonable, but has not been confirmed. Sudbury's municipal fire department was established in 1931 after the old Town Hall was destroyed by fire, and the

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

604 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.408

first town-owned fire station was housed in the new Town Hall, 322 Concord Road (1930-1932, see form). The present South Sudbury Fire Station, located at 550 Boston Post Road about two-tenths of a mile east of this property, was built in 1961.

The not-for-profit Save A Dog shelter and humane society has operated here since 2007, initially as a tenant of property owner Lilian McCurrach (d. 2013). Shirley Moore and her husband, David Bernier, founded the society in their Wayland home in 1999, and acquired this property in 2015. The barn – labeled “garage” on a 1963 survey plan—has been renovated for use as a kennel.

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SUPPLEMENTARY IMAGES



Stone wall and pillar in front of building.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

K04-0001	Framingham	SUD.E, F	SUD.7
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

MA/HL 06/09/1970
 PR 06/09/1970

LHD 03/21/1967
 NRDIS 04/23/1973

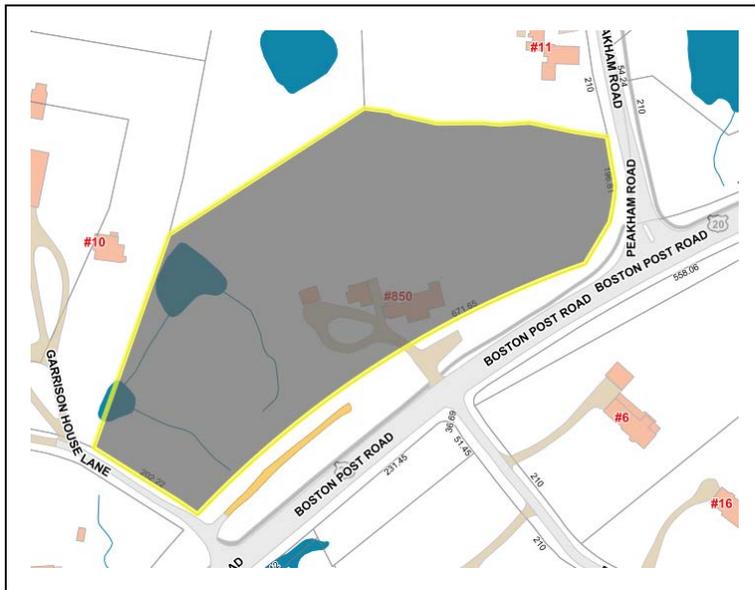
Photograph



Façade (south elevation).

Town/City: Sudbury
Place: (*neighborhood or village*): South Sudbury
Address: 850 Boston Post Road
Historic Name: William and Mary Hager House
Uses: Present: residential
 Original: residential
Date of Construction: ca. 1730
Source: Boston Sunday Globe, 3/23/1924; Hudson,
Style/Form: Georgian
Architect/Builder: not determined

Locus Map



Exterior Material:
 Foundation: concrete
 Wall/Trim: clapboard/wood
 Roof: asphalt shingle
Outbuildings/Secondary Structures: garage, shed

Major Alterations (*with dates*):
 ells and additions (20th century)

Condition: good to excellent
Moved: no yes **Date:** 1916
Acreeage: 5.59 acres

Setting: Located on a main east/west thoroughfare, at its sparsely developed residential end in southwestern Sudbury. Properties in the immediate vicinity are large and heavily wooded. Building is set well back from the street on a generally flat lot; the front setback is maintained chiefly in lawn. A wood picket fence lines much of the front property line.

Recorded by: W. Frontiero, K. K. Broomer, and S. Spies, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

850 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.E, F

SUD.7

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

850 Boston Post Road is a sprawling, linear collection of small building parts, an outgrowth of the 1½ story, end-gambrel cottage that forms its core. This main block is trimmed with flat sill boards, corner boards, and fascia. A large chimney is centered at its ridgeline; windows on the façade are tucked close to the eaves. Windows occur singly, are regularly arrayed, and typically have 6/9 sash with flat casings. The asymmetrical, three-bay façade (south elevation) has a main entrance positioned slightly off-center and one window at unequal distances on each side. The entrance consists of a single-leaf door with fluted pilasters on plinths; no entablature. Two gabled dormers (no gable returns) are nearly but not quite vertically aligned with the wall windows below; they contain 6/6 sash. The east gambrel-end has two windows towards the front on the first floor; two windows asymmetrically grouped in the center of the half-story, and a small one-light sash in the gambrel peak. The windows on the first and half-stories are capped by narrow, shed-roofed hoods. The west gambrel end is not visible from the street. Extending from the east end of the main block is a one-story, L-shaped wing with a side-gable roof. Its façade (south elevation) has one 9-light window to the west and four banded, 9-light windows on the east. Its gable end has two windows towards the front and an offset, four-panel door underneath a plain gabled portico that is supported on square posts. On the west side of the original block is another one-story, side-gabled extension, with 6/6 windows grouped in a 3-1 pattern on its façade. This extension's west elevation is also not visible from the street.

Well preserved and well maintained, 850 Boston Post Road is a vernacular yet handsome example of rural residential architecture in Sudbury. Notable features include the building's informal massing, broad and locally uncommon gambrel roof, low roof eaves, stylish main entrance trim, intact fenestration and trim, substantial chimney, and illustration of nearly four centuries of architectural evolution.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Built ca. 1730, the William and Mary Hager House was originally located on the south side of the Boston Post Road in Marlborough, approximately one mile west of its present-day location. The house was located near the family's sawmill on the west shore of Hager Pond (approximately the current location of the Raytheon complex), which operated for more than a century. Prior to 1906, the house had been owned and occupied by members of the prosperous and well-respected Hager family for nearly two centuries. It was built as the homestead of Ebenezer (b. 1698) and Sarah Hager, who were married in 1726 and lived in the house for 30 years. Ebenezer served as a constable for 11 years and was a prominent landowner. His sons Ebenezer (1728-1798) and William (1733-1811) were subsequently associated with the house. The younger Ebenezer was a wheelwright and landowner in his own right; William served as a selectman and collector of taxes, and was a member of Marlborough's Committee of Correspondence.

Around 1913, gentleman farmer and orchardist John "Jack" Duncan Pearmain purchased approximately 90 acres in this area. In 1906, Jack Pearmain's parents, a Boston stockbroker and a Wellesley-educated woman actively engaged in progressive

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

850 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.E, F

SUD.7

causes, had constructed a summer home, "Four Winds," along Wayside Inn Road in Framingham (1909; demolished).¹ Jack Pearmain (1891-1968) was graduated from Harvard in 1913 and married Barbara Pierce the following year. The Pearmain's 90-acre farm extended from 850 Boston Post Road into Framingham along Wayside Inn Road, where the couple resided. The farm was planted in squash, beans, and potatoes and included an orchard of 10,000 quince, pear and peach trees.² In 1916, Pearmain moved the William and Mary Hager House to this location and established the Nobscot Mountain Farm and Tea House as an outlet for the farm's products.

Pearmain commissioned an elegant sign for the tea house in 1916. The large, double-sided sign, executed by Grueby Faience & Tile Company, consisted of 108 picture tiles depicting a tea kettle, a brick hearth and local fruit available for sale. The design is attributed to Jack Pearmain's sister-in-law, Nancy Brush Pearmain, a painter, author, costume designer, and set designer who was affiliated at that time with Boston Society of Arts and Crafts. Arts and Crafts period researchers observed, "No ordinary orchard would have such a sign, and no ordinary farmer could afford to have it made." The sign disappeared around 1924 and resurfaced circa 2008.³ It was sold at auction in 2008 for \$92,500. ⁴

The Nobscot Mountain Tea House became a popular destination for college students and tourists with open hearths to roast marshmallows while they sipped tea and coffee.⁵ The location was ideal due to increasing automobile traffic and capitalized on the nearby Wayside Inn's popularity as a destination.

In 1923, the same year that he purchased the Wayside Inn, Henry Ford purchased the 95-acre farm and tea house from Pearmain as part of his planned Colonial village.⁶ Ford incorporated the building into the Wayside Inn complex, continuing its use as the "Nobscot Cottage" tea house and tavern.⁷ World War II had a detrimental effect on Wayside Inn operations, however, and funds were insufficient to maintain the dozens of buildings and more than 2,400 acres that comprised the Inn complex. Between 1946 and 1951, the Wayside Inn Trust sold off more than 2,300 acres of land and buildings.⁸

In 1946, Bertha and Calvin Smith purchased 850 Boston Post Road.⁹ Bertha and Calvin Smith were active with the Sudbury Valley Trustees and by 1968, the property was known as the headquarters of the Trustees.¹⁰ In 1984, Bertha Smith gave the house and 8.4 acres to the Sudbury Valley Trustees (SVT).¹¹ The SVT used the house as its first official office.¹² The organization quickly outgrew the space, however, and moved to a new location in Sudbury a few years later. William and Dorothy Schirmer purchased the property from SVT in 1989 and lived and worked here until 2013.¹³ The couple operated an antiques shop in the carriage house on the property.¹⁴ The house is presently in use as a single-family house.

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¹ Elizabeth F. Fideler, *Margaret Pearmain Welch...*: 22.

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³ Fideler: 63, citing Wright and Yanemoto, "The Nobscot Farm and its Grueby Tile Sign," *Northeast Antiques*, December 2007, p.p. 13-14.

⁴ <https://www.sothebys.com/en/auctions/ecatalogue/2008/important-20th-century-design-n08502/lot.131.html>. Accessed June 14, 2021.

⁵ Harris Walter Reynolds, "Another Colonial Landmark of Sudbury Latest Ford Purchase," *The Boston Sunday Globe*, March 23, 1924, p. 50.

⁶ Middlesex South Registry of Deeds Book 4676, p. 441; Garfield, *As Ancient...*, p. 213; Middlesex South Registry of Deeds Plan #796 of 1951.

⁷ Middlesex South Registry of Deeds, Plan No. 1953 of 1946; Plumb, p. 106; Garfield, p. 203.

⁸ Plumb, p. 124, p. 129.

⁹ Middlesex South Registry of Deeds Book 7080, p. 32.

¹⁰ *A Brief History of the Towne of Sudbury in Massachusetts, 1639-1939*. Sudbury: Sudbury Historical Society, 1968 (reprint of 1939 volume produced by Federal Writers' Project of the Works Progress Administration (WPA) of Massachusetts).

¹¹ Middlesex South Registry of Deeds Book 15473, p. 276.

¹² George Lewis, *Sudbury Valley Trustees: 50 Years of Conservation*, p. 133.

¹³ Middlesex South Registry of Deeds Book 20028, page 78.

¹⁴ Yankee Magazine <https://newengland.com/yankee-magazine/living/homes/home-for-sale-sudbury-ma/>. Accessed June 14, 2021.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

850 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.E, F

SUD.7

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

850 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.E, F

SUD.7

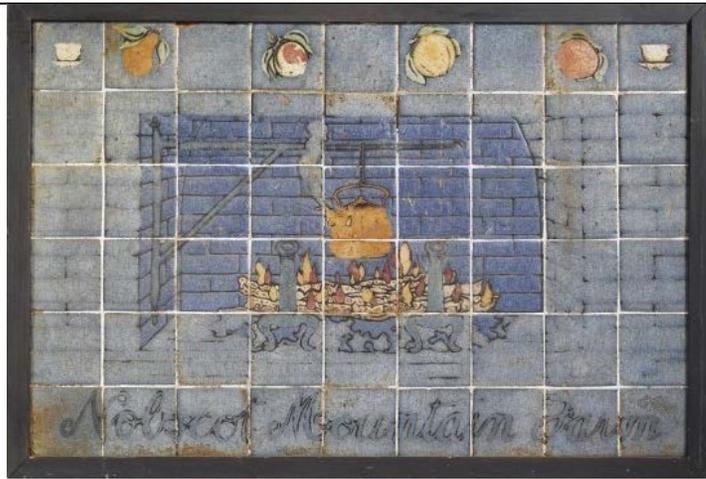
SUPPLEMENTARY IMAGES



Façade (south) and east elevations: West wing and main block.



Detail of main entrance.



Gruoby sign for Nobscot Mountain Tea House (no longer at this property).

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

L04-0001	Framingham	SUD.E, F	SUD.5
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MA/HL 06/09/1970
PR 06/09/1970

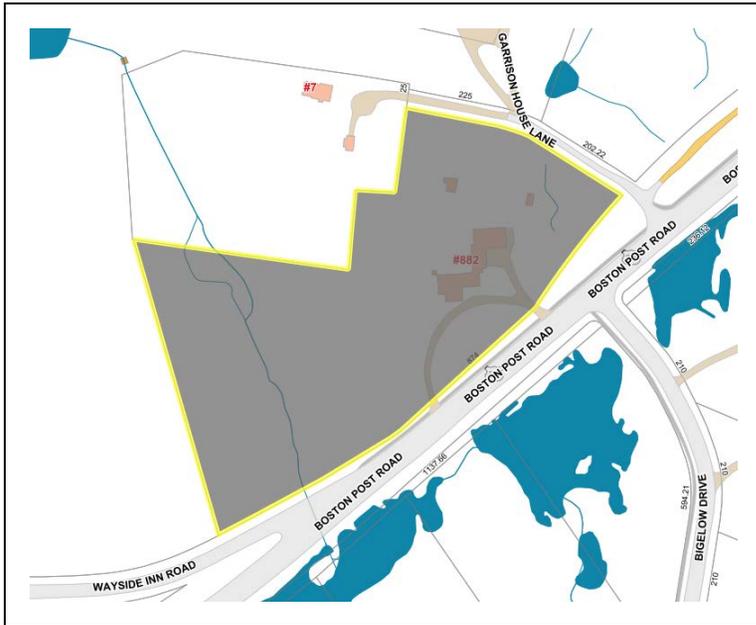
LHD 03/21/1967
NRDIS 04/23/1973

Photograph



Façade (south) and east elevations.

Locus Map



Recorded by: W. Frontiero, K. K. Broomer, and S. Spies, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*): South Sudbury

Address: 882 Boston Post Road

Historic Name: Adam Howe House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1840

Source: maps and atlases; visual inspection; Plumb, *History of Longfellow's Wayside Inn*

Style/Form: Greek Revival

Architect/Builder: not determined

Exterior Material:

Foundation: stone (?; not clearly visible from the street)

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures: attached barns; sheds

Major Alterations (*with dates*):

front portico (ca. 1900) - rear ell? and screening-in of side porch (20th c)

Condition: good to excellent

Moved: no yes **Date:**

Acreage: 5.39 acres

Setting: Located on a main east/west thoroughfare, at its sparsely developed residential end in southwestern Sudbury. Properties in the immediate vicinity are large and heavily wooded. Building is set well back from the street on a lot that slopes up towards the house; the front setback is maintained chiefly in lawn. A granite retaining wall lines the street edge, with large, crenellated posts marking the entrances of a circular driveway.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

882 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.E, F

SUD.5

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

882 Boston Post Road consists of a monumental main block, side ell and side porch, rear connector (perhaps a later addition), and attached barn. The *main block* is a large, rectangular volume rising 2½ stories to a pedimented, front gable roof with a two-story portico across the façade. A narrow chimney rises from the east slope of the roof, near the back. Walls are sheathed with flushboard on the façade, underneath the portico, and clapboard on the sides and tympanum, and are trimmed with a flat sill board on the east elevation. Windows typically occur singly, are regularly arrayed, and have 6/6 sash with band molding. The façade has a three-bay wide portico (added ca. 1900) with two-story high, Doric columns supporting a high, molded frieze. A 6/6 window is centered in the tympanum. The three-bay façade contains an offset entrance. The doorway is composed of a single-leaf door and half-height sidelights framed by a channeled casing with bulls-eye corner blocks. The east elevation of the main block has one window on the first floor and two on the second floor. The main block's west elevation seems to be fully spanned by a one-story porch with a hip roof, four bays defined by Doric columns, and a molded frieze. This porch appears in a 1900 photograph of the house and may have been constructed simultaneously with the front portico. Four windows are evenly spaced above the side porch, across the second story. A *side ell* extends eastward from the main block, rising 2 stories to a side gable roof; a chimney rises near the ridgeline, approximately in the center of the volume. A one-story, three-bay porch with tapered Tuscan posts, a modest frieze, and low hip roof spans the facade of the ell, which has flushboard walls, three windows, and an off-center, single-leaf door within. Two widely spaced windows occupy the second floor above the porch. The east elevation of the ell is one-bay wide, with an asymmetrical gable, a 6/6 window and a six-light sash at the first floor, and a 6/6 window centered under the gable peak.

Appended to the rear of the ell is a one-story *connector* wing with a front-gabled roof, brick foundation, and fully exposed basement level; it connects to the barn at the end of this sequence of building parts. The main floor of the connector has a single-leaf door facing front (south), two pairs of 6/6 windows, and two single 6/6 windows, all with flat trim. The basement level of the connector has a shed-roofed projection occupied by three vertical-board, garage/barn doors. The substantial *attached barn* (constructed after 1968) rises 2½ stories to a side-gable roof with a large cupola featuring 6/6 windows and a hip roof. All windows and doors have flat casings. The façade (south elevation) of the barn has a pedestrian door placed roughly in the center and two garage doors to its east; three 8/8 windows are regularly spaced above. The side (east) elevation has a shed-roofed storage porch attached at the ground floor, built with heavy-timber construction. Above are two symmetrically placed 8/8 windows in the second story and a small 6/6 window centered in the gable peak.

Very well preserved and maintained, 882 Boston Post Road is an extraordinary example of high-style design in Sudbury that evolved over the 19th and early 20th centuries; its architectural ambition is particularly notable for its isolated location. Notable architectural features include the building's unusually large size, the massing of primary and secondary building volumes, the pedimented façade with its monumental portico and flushboarding, the relatively informal detailing of the main entrance, the columned side porch on the main block, and the side ell's porch and flushboarding.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The history of 882 Boston Post Road has been intertwined with that of the Wayside Inn since the early 19th century. Adam Howe, Sr. (1796-1840) owned and operated the Wayside Inn from 1795 until 1840. 882 Boston Post Road— sometimes known as Stoneleigh Farm and Fallon Farm— is reported to have been constructed by his son, Adam Howe, Jr. (1805-1857). "A. Howe" appears as the owner of the house at this location on the 1830 map; further research and physical examination of the

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

882 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

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building are required to determine whether the current building dates to that period. Local legends report that Adam Howe, Jr. constructed the house for a fiancée who fell ill and died before they were able to marry. In 1845, Howe married Olive Page, a maid at the Inn, and lived with her at 882 Boston Post Road.¹ After Adam, Jr.'s death, the property passed to his brother Lyman,² and then to his father, Adam Howe, Sr., after Lyman's death in 1861.

From 1861 to 1897, the Wayside Inn property did not operate as an inn, but rather was occupied by tenants. It appears that owners of the inn also owned 882 Boston Post Road at various times. The 1875 map indicates "A. Parmenter" as the owner of 882 Boston Post Road. Several persons with that name are included in the 1870 tax valuation of Sudbury; further research is merited.

From 1861-1874, Orin Dadmun rented the Wayside Inn as his residence. Dadmun's nephew, Lafayette Dadmun and his family succeeded him as tenants at the Wayside Inn, from 1874 to 1889.³ The 1889 map shows "L. Dadmun" as the owner of 882 Boston Post Road, perhaps indicating that Lafayette Dadmun purchased it upon moving out from the Wayside Inn. Dadmun (also spelled Dadman) had five children with his wife, Nancy Maria Horton. Lafayette worked as a driver for an express company early in life, before moving to Sudbury, where he is identified as a farmer from at least 1880 through 1915. The 1890 valuation book shows Lafayette owning horses, cows, a bull, carriage, wood and lumber, a house, barn, two sheds, and 100 acres of "home land". The house at 882 Boston Post Road was "remodeled" in 1900, possibly by Dadmun, and "improved on" in 1915.⁴ The columns and the extended gable roof were added before 1900, likely by Dadmun. (Dadmun later owned 272 Concord Road in Sudbury; see form.)

Around 1914, farmer and orchardist John "Jack" Duncan Pearmain purchased approximately 90 acres in this area, including 882 Boston Post Road. Pearmain (1891-1968) was graduated from Harvard in 1913 and married Barbara Pierce the following year. Their 90-acre farm extended from Boston Post Road into Framingham along Wayside Inn Road, where they resided. The farm was planted in squash, beans, and potatoes and included an orchard of 10,000 quince, pear and peach trees.⁵ In 1916, Jack Pearmain opened a tea room next door at 850 Boston Post Road (SUD.7).

In 1923, the same year he acquired the Wayside Inn, Henry Ford purchased the 90-acre farm and 882 Boston Post Road from Pearmain as part of his planned Colonial village.⁶ World War II had a detrimental effect on Wayside Inn operations, however, and funds were insufficient to maintain the dozens of buildings and more than 2,400 acres that comprised the Inn complex. Between 1946 and 1951, the Wayside Inn Trust sold off more than 2,300 acres of land and buildings.⁷ In 1954, Dorothy and Bernard McGuire purchased the house and 5.4 acres at 882 Boston Post Road.⁸ Bernard T. McGuire worked as a sales manager for Stecher-Traung Lithograph Corporation and trustee of Sudbury Estates Realty Trust. McGuire chaired the Sudbury United Way Fund for several years and was appointed vice-chair of the Metropolitan Department of the United Fund in 1962.⁹

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¹ Plumb, p. 53.

² Plumb, p. 53.

³ Plumb, p. 66.

⁴ Plumb, p. 53

⁵ World War I Draft Registration Card, Ancestry.com. Accessed June 2021; Elizabeth F. Fideler, *Margaret Pearmain Welch (1893-1984): Proper Bostonian, activist, pacifist, reformer, preservationist: pp. 30, 63.*

⁶ Middlesex South Registry of Deeds Book 4676, p. 441; Garfield, *As Ancient...*, p. 213; Middlesex South Registry of Deeds Plan #796 of 1951.

⁷ Plumb, p. 124, p. 129.

⁸ Middlesex South Registry of Deeds Book 8332, p. 424.

⁹ "McGuire Heads Drive," *Sudbury Fence Viewer*. Sept. 17, 1959; "Named Vice Chair for United Fund Drive," *Sudbury Citizen*, March 29, 1962, p. 4.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

882 BOSTON POST RD

MASSACHUSETTS HISTORICAL COMMISSION

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SUPPLEMENTARY IMAGES



Detail of façade (south elevation) on the main block.



Side ell and rear connector, façade (south) and east elevations.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

882 BOSTON POST RD

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SUPPLEMENTARY IMAGES



Façade (south) and east elevations of barn.



Stone retaining wall at street edge.



Historic image, photograph taken 1900. Source: Plumb: 53.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

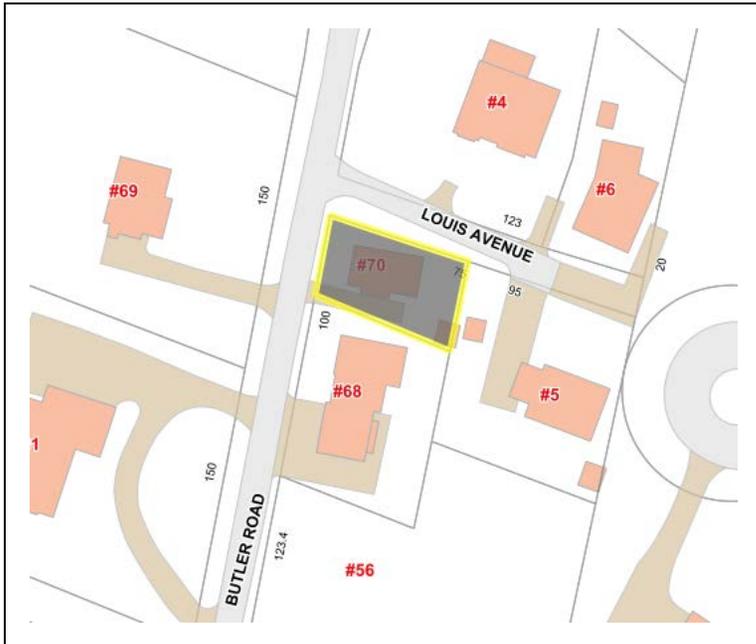
Assessor's Number USGS Quad Area(s) Form Number

F05-0710	Maynard		SUD.409
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Photograph



Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):

Address: 70 Butler Road

Historic Name: Frank and Constance Gullotti Camp

Uses: Present: residential

Original: residential

Date of Construction: ca. 1931-1935

Source: deeds, assessors

Style/Form: no style

Architect/Builder: see narrative

Exterior Material:

Foundation: concrete

Wall/Trim: asbestos shingle+wood shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:

garage

Major Alterations (*with dates*):

asbestos siding, replacement window sash, side additions (mid – L 20th c)

Condition: fair

Moved: no yes **Date:**

Acreage: 0.08 acres

Setting: Early 20th c residential subdivision originally developed with small cottages on small lots, most of which have been significantly altered, enlarged, or replaced. Flat lot with a modest front setback, lined with a picket fence at the street edge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

70 BUTLER RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.409

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

70 Butler Road is a small, rectangular cottage rising one story to a side-gabled roof with shed-roofed extensions along the front and rear elevations. An exterior chimney rises up the north gable end. Walls are clad with wood shingles on the façade and side additions, and asbestos on the two gable ends. Windows typically occur singly and have 1/1 sash with band molding. The three-bay façade has one small window to each side of a center entrance, where a single-leaf door is protected by a utilitarian, flat-roofed portico. The south elevation has two small, contiguous projections of different heights, both with shed roofs; the forward appendage has a single-leaf entrance facing the side. The asymmetrical north elevation has a window on each side of the exterior chimney and a single-leaf door towards the back, under the shed-roofed extension of the main roof.

70 Butler Road is a non-descript but uncommon survivor of early 20th century summer cottage development in Sudbury. Notable features include its compact form, gable roof with front and rear extensions, and exterior chimney. Alterations to siding, fenestration, window sash, and the main entrance significantly compromise the historic integrity of this property.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This section of Sudbury was sparsely settled until the 1920s, when real estate speculators began developing clusters of recreational camps or seasonal cottages, many in waterside locations that offered easy access to hunting, fishing, swimming, and boating. Uncommon for its association with a Sudbury resident, rather than a real estate agent from the Boston area, the Butler Road neighborhood encompassed about 17 acres south of Willis Pond, subdivided in 1926 by Francis H. Butler and his wife, Ida. Francis Butler was employed as a road builder, and the couple lived on Old Marlboro Road. Butler Road, a path to the camps from the present Fairbank Road, was unpaved as late as 1943. The Butlers sold building lots in this neighborhood until the early 1940s. Deed grantor indices show several buyers with Italian surnames.

In 1931, Frank Gullotti, a carpenter residing in Watertown, purchased Lots 31 and 32 in the subdivision from Ida Butler. This camp occupies Lot 31, abutting Louis Avenue on the north (titled Louie Avenue on the 1926 subdivision plan). Gullotti likely built this house. It is unclear whether the present facade is actually the original rear elevation. As laid out in 1926, building lots flanked a projected street on the east side (rear) of this house that was never built, and the Butler Road path from Fairbank Road was subsequently extended from the south to pass this lot on the west. The property is one of very few in the neighborhood to maintain the original lot size of 50 feet by 75 feet. Born in Ucria, Italy, Frank Gullotti (1889-1973) came to the United States in 1912. Five years later, he married in Boston Constance (Concetta) Baratta of Messina, Italy, and they raised four children in Watertown.

Subsequent owners of this camp include Alfonso and Pauline Saldi, who resided in Waltham, where they established Saldi's Café before World War II, and Philip and Dorothy M. Aliamo of Waltham, where Philip Aliamo was employed as a barber. It is not clear when the building was winterized for year-round use, which possibly occurred in the mid-1940s, as the 1942 tax valuation still describes the building as a camp. Longtime owners Thomas and Rose Marie Dowey lived here from 1959 to 1976. Thomas Dowey was employed as a factory worker in 1969.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

70 BUTLER RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

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	SUD.409
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- Town of Sudbury zoning map: 1938.
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- USGS topographical maps: 1943, 1950 (Maynard quadrangle).

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

F05-0718	Maynard		SUD.410
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Town/City: Sudbury

Place: (*neighborhood or village*):

Photograph



Façade (south elevation)

Address: 92 Butler Road

Historic Name: Harry and Grace Twigg Camp

Uses: Present: residential
Original: residential

Date of Construction: ca. 1920s

Source: deeds, visual inspection

Style/Form: no style

Architect/Builder: not determined

Exterior Material:

Foundation: concrete

Wall/Trim: wood clapboards, shingles, and trim

Roof: asphalt shingle

Outbuildings/Secondary Structures: garage

Major Alterations (*with dates*):

siding, fenestration, window sash, front entrance (and porch?) (L 20th – E 21st c)

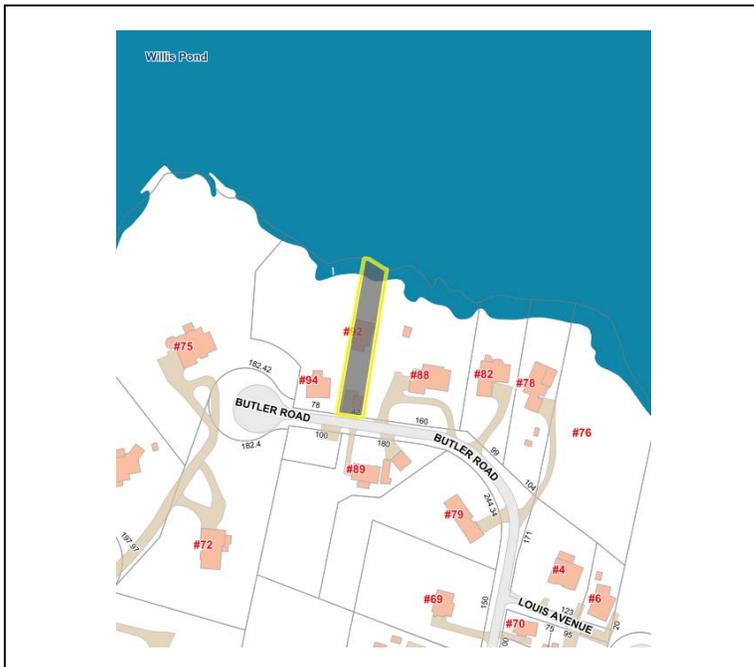
Condition: fair

Moved: no yes **Date:**

Acreage: 0.21 acres

Setting: Early 20th c residential subdivision originally developed with small cottages on small lots, most of which have been significantly altered, enlarged, or replaced. House is set well back from the street, with waterfront on Willis Lake. Front yard is maintained mostly in lawn.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

92 BUTLER RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.410

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

92 Butler Road is a rectangular cottage rising 1½ stories to a front gabled roof without returns. A tall slender chimney rises up the exterior of the east elevation. Walls are sheathed with wood clapboards and trimmed with flat corner boards. Windows vary in size and shape; are irregularly arrayed; and appear to be trimmed with flat casings. A one-story, hip-roofed extension (perhaps originally a porch or sunroom) covers the full width of the façade. It contains an offset entrance with a single-leaf door flanked by contiguous 1/1 sash. A 1/1 window with a modern, semi-circular transom is centered in the half-story. The side elevations are utilitarian in character. The east elevation has a pair of narrow windows flanking each side of the exterior chimney and a small, square, one-light window towards the rear. The west elevation has two small square-ish windows towards the front, paired narrow windows in the middle, and a large, single-pane picture window towards the rear.

92 Butler Road is nondescript and much altered, but remains an uncommon survivor of early 20th century summer cottage development in Sudbury. Notable architectural features include the waterfront setting, compact form, and hip-roofed front projection. Because of extensive alterations in the form of the modern entrance, likely replacement of shingles with clapboards on the façade, changes in fenestration, and replacement window sash, the building no longer conveys an historic appearance.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

In 1919, Merton L. Gordon of Waltham subdivided land on the south shore of Willis Pond for camp development. This section of Sudbury was sparsely settled when real estate speculators began developing clusters of recreational camps or seasonal cottages, many in waterside locations that offered easy access to hunting, fishing, swimming, and boating. On Butler Road, land at the shoreline was developed separately from Francis H. Butler's abutting 17-acre subdivision (1926) to the south (see form for 70 Butler Road, SUD.409). Both subdivisions were accessed by the same path – now Butler Road – from the Fairbank Road.

Circumstances surrounding the construction of this camp are unclear. Deeds to the property do not explicitly mention buildings until 1945, which is not uncommon, and the 1919 subdivision plan, which may illustrate any buildings then located on the property, has not been located. Seasonal use of this camp also made it less likely that owners' names would appear in Sudbury resident directories to help pinpoint a construction date. Merton Gordon was employed at the Waltham Watch Company in 1919, when he purchased 17 acres in Sudbury from Carrie E. Lansil, wife of Earl E. Lansil, a Belmont electrician. The Gordon tract originally extended from Willis Pond to Hudson Road. In 1921, Merton Gordon conveyed five parcels of land in his new subdivision to Herman R. Wescott, then employed as the foreman of the Atlas Chemical Company in Waltham.

This camp occupies Lot 3, one of Herman Wescott's parcels. While he could have constructed the dwelling, the building is more closely associated with Harry W. Twigg, owner of the property from 1925 to 1945. Harry Walter Twigg (1874-1970) was born in the Highlandville section of Needham. Employed as a machinist as a young man, he later served as superintendent (1921) of the Purity Ice Company in Newton. During the time he owned this property in Sudbury, Harry Twigg was the custodian for the Masonic Temple in Newtonville, where he resided with his wife, Grace. In 1942, Harry Twigg was assessed for Lots 2 and 3 at Willis Pond, valued at \$400, and a camp house valued at \$800. John A. and Catherine A. McLaughlin owned the property from 1949 to 1987 and lived here year-round. John McLaughlin was a retired inspector for the Blanchard Machine Company.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

92 BUTLER RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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SUD.410

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SUPPLEMENTARY IMAGES



West elevation.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

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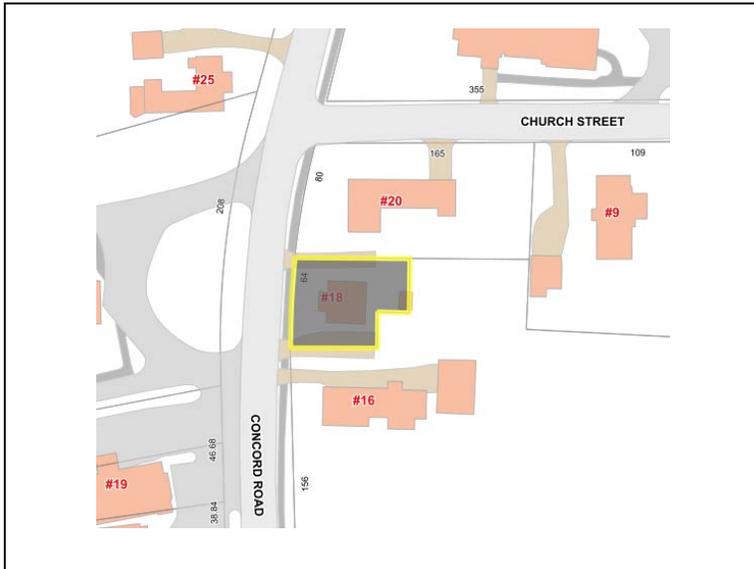
LHD 04/26/2005

Photograph



Façade (west) and south elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 18 Concord Road

Historic Name: E. Gertrude Hurlbut Rond House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1908-1910

Source: deeds, directories

Style/Form: Colonial Revival

Architect/Builder: not determined

Exterior Material:

Foundation: concrete

Wall/Trim: wood shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
n/a

Major Alterations (with dates):
n/a

Condition: excellent

Moved: no yes **Date:**

Acreage: 0.12 acres

Setting: Located at the southern end of a major north/south thoroughfare, near its intersection with Boston Post Road and the commercial center of South Sudbury. Heterogeneous neighborhood with a mix of residential, commercial, and institutional buildings. The lot slopes up from the street, bordered by a stone retaining wall at the street edge. The moderate front setback is maintained chiefly in lawn.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

18 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I SUD.379

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form. .*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

18 Concord Road is a rectangular building that rises 1½ stories from a fieldstone foundation to a side gambrel roof with pedimented end walls. A small chimney rises from the center of the ridgeline. Wood shingled walls are trimmed with flat corner boards and fascia; a belt course between the first and half-stories that “pediments” the end walls is topped by a shingle-clad, canted hood. Windows are regularly spaced but not symmetrically arranged; they typically occur singly and feature 6/1 sash and band molding. The façade is dominated by a large cross-gambrel dormer with two windows, and a generous, flat-roofed entry porch that is supported by Tuscan columns rising from solid, shingled walls. Within the porch, the center entrance has a single-leaf, glass- and wood-paneled door with band molding. A tri-partite window flanks the doorway on the south, matched by a similar window around the corner on the south elevation. The nearly symmetrical north elevation has a single-leaf door and small, modern entrance deck towards the back.

Well preserved and well maintained, 18 Concord Road is an excellent example of relatively modest, early 20th century residential development in Sudbury. Its confident proportions and massing are balanced by restrained but thoughtful detailing. Notable design features include the generous main roof and cross gambrel, prominent and graceful front porch, pedimented gambrel ends, and intact fenestration.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

A fine example of early 20th-century residential infill construction in the village at South Sudbury, this house belonged to Emily Gertrude (Newton) Hurlbut (1868-1949). She was a dressmaker and the young widow of Arthur Scollay Hurlbut (d. 1901), a farmer who died nine years after their marriage. Her father, Henry L. Newton, was a Sudbury farmer, and her father-in-law was industrialist Rufus Hurlbut, partner in Hurlbut & Rogers machine manufacturers nearby on Hop Brook. She acquired land for this house in 1908 from Hubbard H. Brown (1839-1922), who resided next door at 16 Concord Road (SUD.77). While he was employed as a real estate agent by this time, Brown was a former farmer and florist, with the distinction of having erected the first greenhouse in Sudbury in 1879 at 79 Nobscot Road (SUD.33). Mrs. Hurlbut, who was known as Gertrude, lived here alone in 1910, and by 1920 was joined by her mother, Ellen W. Newton, and sister, Ella S. Newton. The sisters lived here together into the 1940s.

Alphonse Rond (1876-1948) joined the household when he married Gertrude Hurlbut in 1935. Born at Saint Saulge, Nièvre, France, he arrived in Boston by 1917, where he was employed as head waiter in a hotel. His first wife, also a dressmaker named Emilie (Emily), was French as well. They came to Sudbury in the late 1920s, residing on Concord Road, where Alphonse was engaged in farming and later employed as a caretaker. Emilie Rond died in Sudbury in 1932.

The estate of E. Gertrude Rond sold this house in 1949 to Lynn D. B. Spencer. A Sudbury native, he was employed as a custodian with the Sudbury School Department until his retirement. Spencer lived here until his death in 1987.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

18 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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SUPPLEMENTARY IMAGES



Detail of front entrance.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

K09-0004	Framingham	SUD.B, I	SUD.383
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LHD 04/26/2005

Photograph



South and façade (east) elevations.

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 61 Concord Road

Historic Name: Samuel and Ina Underwood House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1905-1908

Source: maps and atlases, deeds

Style/Form: Craftsman

Architect/Builder: see narrative

Exterior Material:

Foundation: stone

Wall/Trim: wood shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:

n/a

Major Alterations (*with dates*):

rear additions?; replacement window sash (L 20th – E 21st c)

Condition: good to excellent

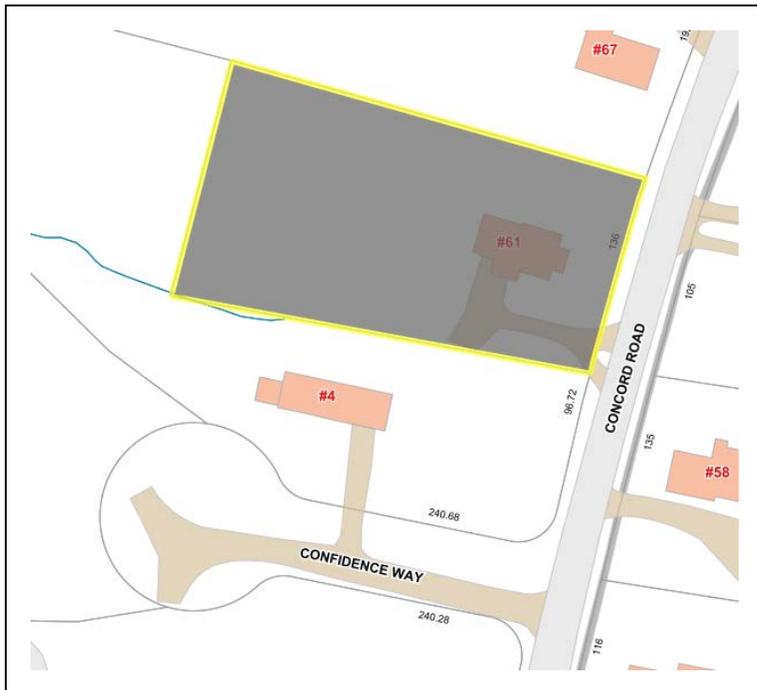
Moved: no yes **Date:**

Acreage: 0.99 acres

Setting: Located on a main north/south thoroughfare, on a stretch of road that is developed with a heterogeneous mix of 19th and 20th century houses, regularly positioned on relatively large lots. The parcel is maintained chiefly in lawn, with the house standing on a level grade at a modest distance from the street. The remainder of the lot slopes steeply down from the street.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

61 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I SUD.383

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

61 Concord Road consists of a main gabled block at the front and a large perpendicular ell at the rear. The main block rises 2½ stories to a side-gabled roof with exposed rafter ends; it is enlivened by small one-story projections at the front and south side that accommodate main and secondary entrances. A small chimney rises from the rear slope of the main block, near its southern end. Clad with wood shingles, walls are trimmed with flat corner boards. Windows are regularly arrayed although symmetrically organized only on the south elevation. They typically occur singly and have 6/1 replacement sash and band molding. The façade contains a large gabled entry vestibule that is centered on the façade, flanked by a single window to each side, and two widely spaced windows on the second floor. The entry vestibule displays a triplet of windows on its façade, paired windows on its north elevation, and one window and single-leaf doorway with band molding on the south elevation. The south elevation of the main block is symmetrical, with two windows on each floor and one in the half-story. Appended near the back of its first floor is a cross-gabled vestibule with an offset, single-leaf door on its façade, a triplet of windows on its south elevation, and a pair of hinged, glass- and wood-paneled doors at the basement level. The two-story, gabled ell on the northwest side of the house has smaller windows than the main block, irregular fenestration, and a modern garage door at basement level on its south elevation.

Well preserved and well maintained, 61 Concord Road is a good example of modest, early 20th century suburban development in Sudbury. Notable design features include the building's simple massing, exposed rafter ends, two entry vestibules (one with an unusual side-facing entrance, perhaps reflecting its proximity to a well-traveled street), and intact siding and fenestration.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This early 20th-century farmhouse was originally associated with the 17-acre farm of Samuel and Ina Underwood. Gradually reduced in size from 1905 to 1945, the farm was then reassembled by the Easton family before giving way to additional subdivisions in the late 20th century. Samuel Underwood (1851-1934) resided here with his second wife, Ina L. Moore (1863-1945). Born in Cambridge (his obituary says Somerville), Samuel Underwood moved to Sudbury as a child. He earned his income as a farmer in 1887, when he married Ina Moore, a milliner and the younger sister of his first wife, Marriott Moore (d. 1884). Underwood was later employed as a day laborer (1900), perhaps in the building trades. Samuel and Ina Underwood lived in Wayland early in their marriage, and returned to Sudbury with the completion of this house on the 17-acre farm they purchased in 1905. It appears Samuel Underwood demolished the existing farmhouse and barn on the site (marked on the 1889 atlas as F. Garfield), and built anew. Since the subsequent 1910 census describes Samuel Underwood as a house carpenter, it seems reasonable to conclude he built this house. Underwood was a Sudbury selectman, and in that capacity served on the committee to select a site for the town Revolutionary War monument, and oversee its design and construction [Garfield, 9]. The Underwoods worshipped at the Methodist Church. Though he lived here in retirement, Samuel Underwood died while on a trip in Clearwater, Florida. Ina Moore remained in the house until her death.

The estate of Ina Underwood sold the house in 1945 to Sudbury florist Maxwell Parmenter Eaton. Eaton and his father, Alfred M. Eaton, had already acquired portions of the Underwood farm, and consequently owned the abutting acreage on the north, west, and south at the time this house was purchased on the one-acre lot remaining. The Eatons resided here, and the house remained in their family until 1971.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

61 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I	SUD.383
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FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

J09-0009	Framingham	SUD.B, I	SUD.386
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LHD 04/26/2005

Photograph



Façade (west) and south elevations.

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 84 Concord Road
Historic Name: Albert and Harriet Young House
Uses: Present: residential
Original: residential
Date of Construction: ca. 1906
Source: maps and atlases, deeds
Style/Form: Queen Anne
Architect/Builder: not determined

Exterior Material:
Foundation: concrete
Wall/Trim: clapboard/shingles/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:
attached barn (ca. 1906)

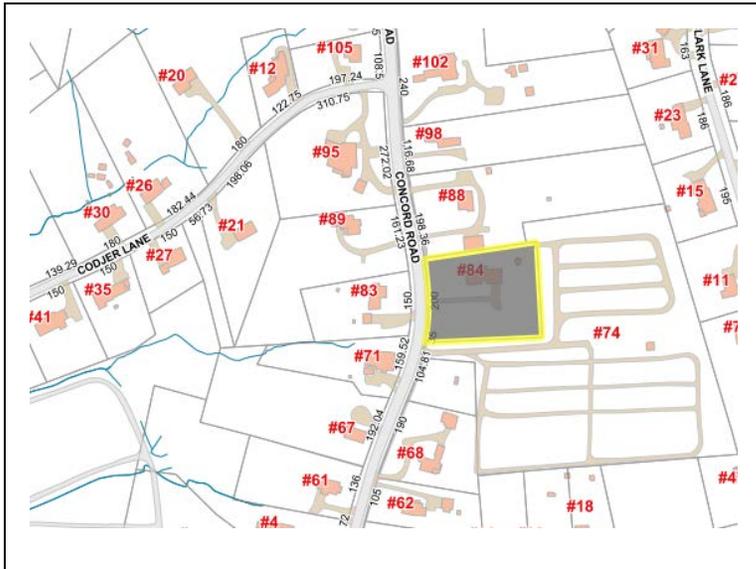
Major Alterations (*with dates*):
replacement window sash, front porch alterations, rear addition (L 20th – E 21st c)

Condition: good
Moved: no yes **Date:**
Acreage: 1.09 acres

Setting: Located on a main north/south thoroughfare, on a stretch of road that is developed with a heterogeneous mix of 19th and 20th century houses, regularly positioned on relatively large lots. Deep front setback on a lot that slopes up to the west and is maintained mostly in lawn. An informal fieldstone wall lines the street edge. Adjacent to Wadsworth Cemetery.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

84 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I SUD.386

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

Set high above and considerably distant from the roadway, 84 Concord Road is a large building rising 2½ stories to a front-gabled roof. A broad but shallow cross-gabled pavilion extends from the back of the north side, with a modern one-story appendage beyond. A slender chimney rises from the middle of the ridge on the front block. A moderately-sized barn is attached at the back, via a small, one-story connector that is barely visible from the street. The main block of the house is sheathed with clapboards at the first story and wood shingles at the second and half-stories. The second story flares out slightly at its base. First floor walls are embellished with flat trim at the cornerboards and a narrow band course above; another flat band course extends across the front gable peak. A modest molded fascia and gable returns define the roof eaves. Asymmetrically arranged, windows typically occur singly and have 1/1 replacement sash and flat trim. The front façade features a full-length verandah with a hip roof, turned columns, and no balustrade. Within is an offset, single-leaf door and paired windows. An angled bay window is located towards the front of the south elevation. The attached, English-style barn is 1½ stories high, with shingled walls, flat trim, two visible 2/2 window sash, and a sliding wood door with a pent roof hood on its façade (south elevation).

Well preserved and well maintained, 84 Concord Road is a restrained yet handsome example of early suburban housing in Sudbury. Notable design features include its relationship to the street (distance horizontally and vertically), large size, broad front and side gables, variety of wall textures, and full-length front verandah. The building features an uncommon example of an attached barn, which is simple and sizeable and is further distinctive for its English style. The most significant alteration to the building appears to be the removal of balustrades and the replacement of posts on the front porch; further investigation is required to confirm the historic integrity of this architectural element.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Albert and Harriet Young House was built on the cusp of Sudbury's transition from a predominantly agricultural community to a suburb. Born in Waterford, Vermont, Albert Newton Young (1877-1952) was employed as a clerk in nearby Concord when he married Harriet Olive Spiller there in 1903. The following year, Albert's father, George Young of St. Johnsbury, Vermont, purchased 3¾ acres of land here, and conveyed the property to Albert in 1906. Neither deed mentions buildings thereon, though it appears likely this house was constructed by 1906, as both the house and barn are shown on the 1908 atlas. Albert and Harriet Young resided here until 1923, during which time Albert was a provisions merchant with his own general store on Hudson Road at Sudbury Center. Harriet's brother, Charles A. Spiller, lived with them, employed in 1920 as a salesman at Young's Store. Also residing here in 1920 was Marion L. French, a housekeeper. Young's Store and adjacent properties were redeveloped with a shopping center in the 1960s, leaving this house as the Sudbury building most associated with the Youngs.

The Goulding and Greenawalt family owned this property from 1925 to 1965. William M. "Billy" Goulding resided here with his wife, the former Belle S. Perry, until her death in 1960, and then sold the house to their daughter, Eleanor L. Greenawalt, in 1962. Goulding was a master machinist, maintained his own machine and repair shop in the barn, and from the 1940s onward was employed as a machinist at Dennison Manufacturing Company in Framingham. Goulding was also involved in the antiques business with his brother, antiques dealer Leonard P. Goulding, who resided next door at the Moses Brewer House, 88 Concord Road (SUD.86). William Goulding exhibited his collection of antique iron pieces at the Goodnow Library in 1960. Belle Goulding was active in the First Parish Alliance, the Sudbury Garden Club, and the Women's Club. Eleanor Greenawalt (Mrs. James F.) contributed many historic photographs of Sudbury to Laura Scott's book, *Sudbury: A Pictorial History* (Norfolk, VA:

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

84 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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Donning Company, 1989). Mrs. Greenawalt sold the house in 1965 to J. Philip Ledger, a manager, and his wife, Winifred, a teacher. Ledger was a member of the Sudbury Players and a leader of the United Fund, while Winifred Ledger chaired the town's Permanent Landscape Committee.

This property borders the path to the Wadsworth Monument (1852, SUD.906), erected to honor Capt. Samuel Wadsworth and twenty-eight other English soldiers lost in the "Sudbury Fight" of April 18, 1676, while defending this frontier settlement during King Philip's War.

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FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

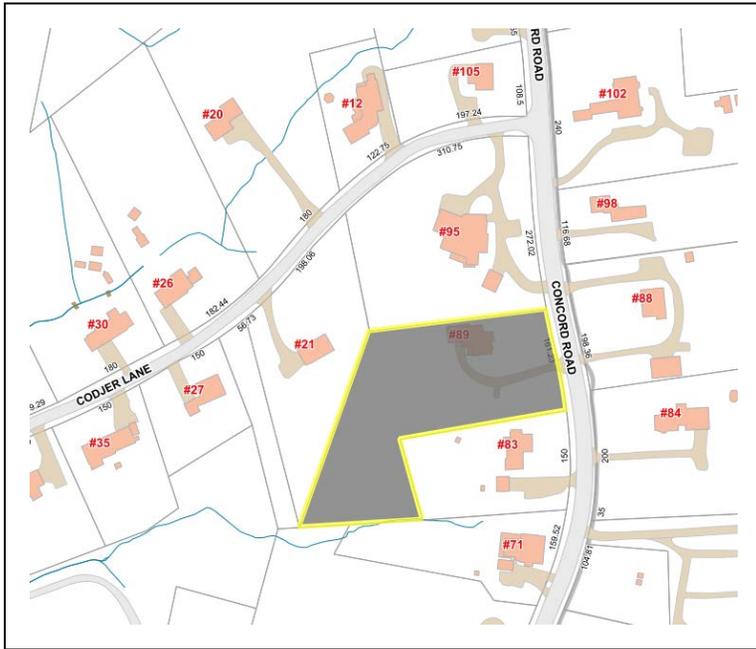
J09-0003	Framingham	SUD.B, I	SUD.387
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LHD 04/26/2005

Photograph



Locus Map



Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 89 Concord Road

Historic Name: Luman and Alice Parmenter House

Uses: Present: residential
Original: residential

Date of Construction: ca. 1903

Source: deeds, maps and atlases

Style/Form: Colonial Revival

Architect/Builder: not determined

Exterior Material:
Foundation: fieldstone
Wall/Trim: wood shingle/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures: n/a

Major Alterations (*with dates*):
side and rear additions (L 20th – E 21st c)

Condition: good

Moved: no yes **Date:**

Acreage: 1.52 acres

Setting: Located on a main north/south thoroughfare, on a stretch of road that is developed with a heterogeneous mix of 19th and 20th century houses, regularly positioned on relatively large lots. The building has a generous front setback, which is maintained mostly in lawn; mature trees and a wood picket fence line the street edge.

Recorded by: W. Frontiero and K. K. Broome, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

89 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I SUD.387

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

89 Concord Road has a rectangular main block that rises 1½ stories to a side-gambrel roof. A variety of gable- and gambrel-roofed side and rear additions extend from the northwest corner of the building. A small chimney rises from the center of the ridgeline on the main block. Shingle-clad walls are trimmed with a modest molded fascia at the main roof eaves; the gambrel roof returns form triangular, shingled shapes on the side elevations. Windows typically occur singly, in a variety of shapes and sizes, with 8/8 sash most prevalent, and have banded molding. The façade (east) and south elevations are asymmetrically composed. The facade contains an offset, enclosed entry vestibule with a shed roof, 12/12 sash on three sides, and an offset, single-leaf door with multi-paned sidelight. The entrance is flanked by an angled bay window with a multi-pane picture window and a hip roof. A low shed-roofed dormer with two small windows is centered on the roof slope above. The asymmetrical south elevation has a two 8/8 windows and a multi-pane picture window on the first floor and two 8/8 windows centered in the half-story.

Well maintained and well preserved, 89 Concord Road is a simple, casual example of early 20th century suburban housing in Sudbury. Notable design features include the fieldstone foundation, multi-pane fenestration, gambrel roof form, multiple small-scale façade projections (bay window, entrance vestibule, and dormer), and unusual gambrel returns on the side elevations. Although the rear additions are relatively large in scale, they are generally unobtrusive due to their location behind the main block.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

In the early 20th century, as farms in Sudbury continued to be divided, several local businessmen built houses on Concord Road between Sudbury Center and South Sudbury. This house was the last residence of Luman Frost Parmenter (1851-1915). Census and vital records describe him as a carpenter (1874, 1880), farmer (1900), and manager of a grain mill (1910). He joined his brother, Charles O. Parmenter, in the grist mill business on Mill Lane at South Sudbury, which operated from 1880 to 1919, and was a retired grain dealer at his death. Luman Parmenter had the house built, or perhaps built it himself, on approximately 2.69 acres he acquired here in 1903. His granddaughter, Elizabeth "Betty" Parmenter Bennett, subdivided the property in 1967, yielding the present house lot.

The Parmenters were direct descendants of two of Sudbury's original settlers, and the house also is notable for its long association with generations of the Luman Parmenter family from ca. 1903 until 1973. Parmenter and his wife, Alice Howe Parmenter, had three children. As they resided here in retirement, their younger daughter, known as Alice Howe Parmenter, Junior, held the title from 1914 onward. Luman's widow stayed on in the house, joined in 1920 by her older daughter Lillian Eaton, son-in-law Alfred N. Eaton, and grandchildren. Alfred Eaton was a florist, probably with the Henry N. Eaton greenhouses on Boston Post Road. By 1930, Alice senior lived here with her daughter Alice, who was unmarried and employed as a nurse. After their deaths in 1939 and 1953, respectively, the next generation, through son Harold C. Parmenter, assumed ownership of the house. His daughter, Betty P. Bennett, lived here with her children. Betty Bennett was a real estate broker in 1969.

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Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

89 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I	SUD.387
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FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

H09-0020

Maynard

SUD.A, J

SUD.178

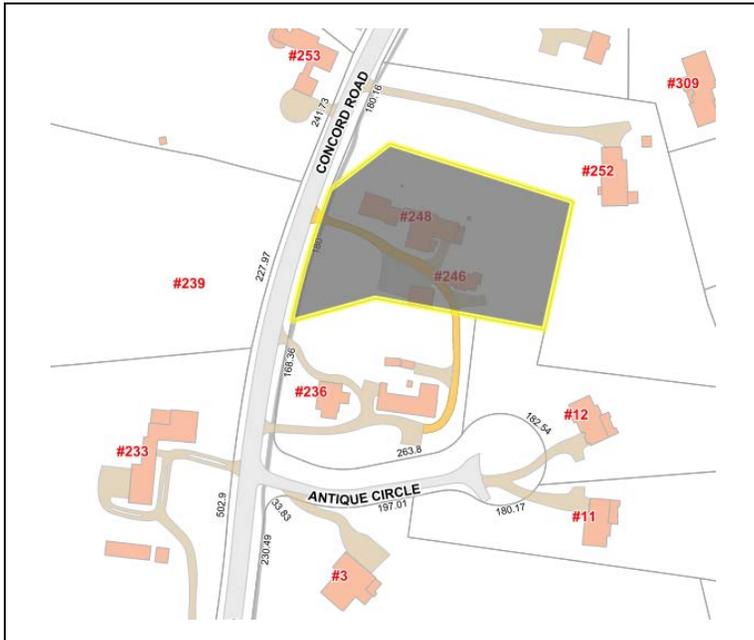
LHD 02/18/1963
NRDIS 07/14/1976

Photograph



Façade (west) and south elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
Sudbury Center
Address: 248 Concord Road
Historic Name: Francis Garfield House –
St. Hubert's School
Uses: Present: residential
Original: residential
Date of Construction: ca. 1871
Source: deeds, maps, and atlases
Style/Form: Italianate with Colonial Revival
updates
Architect/Builder: not determined
Exterior Material:
Foundation: concrete? (not clearly visible
from the street)
Wall/Trim: clapboard, vinyl/wood
Roof: asphalt shingle
Outbuildings/Secondary Structures:
garage, cottage (known as 246 Concord Rd; ca. 1920)

Major Alterations (*with dates*):
front porch railing and columns, diamond-paned windows,
rear ells and additions (L 19th – E 20th c) – exterior chimney
(20th c) – fenestration on barn façade (L 20th – E 21st c)

Condition: good

Moved: no yes **Date:**

Acreage: 1.39 acres

Setting: Located on a main north-south corridor as it
approaches the historic town center, in a residential area
characterized by large lots and irregularly spaced houses.
The parcel slopes up gently from the street, the edge of
which is lined with stone walls. The house has a generous
front setback, maintained chiefly in lawn.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

248 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.178

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

248 Concord Road consists of a main block at the front of the parcel and a sequence of smaller rear ells and an attached barn. The main block rises 2½ stories to a front gable roof with gable returns. A slender chimney rises from the center of the south slope of the roof, and an exterior chimney extends up the north elevation. Walls are clad with clapboards on the façade and appear to have vinyl siding on the side elevations; they are trimmed with a molded fascia at the side elevations and gable returns. An L-shaped porch with a hip roof, solid low wall, and Tuscan columns wraps around the façade and south elevation of the main block. Windows typically occur singly, are regularly arrayed, and have 2/2 sash with flat casings. Smaller, diamond-paned sash occur on the north elevation, flanking the exterior chimney; in the gable peak of the façade; and in the western-most ell, facing the street. The three-bay façade of the main block has an offset entrance with a single-leaf door and three contiguous windows at the first floor; three asymmetrically spaced windows on the second floor, and paired diamond-paned windows in the half-story. The south elevation has four windows, loosely grouped in pairs, on the second story. The north elevation has one bay of vertically aligned windows towards the front, and two diamond-paned windows towards the rear of the first floor.

A 1½ story, gabled ell is offset at the southeast corner of the main block. Visible features include a modern, angled bay window facing south; a diamond-paned window in the half-story, facing the street; and a triplet of modern casement windows on its north elevation. Attached to its east end is a small, 1-story gabled ell (perhaps an early outbuilding) with one window visible on its north elevation. Terminating the chain of rear ells is another 1-story volume, featuring a pitched roof, a small shed-roofed addition on its north elevation, and a substantial chimney near its western end; it appears to have utilitarian, 6/6 fenestration. Attached to the house on the southeast is a large, front-gabled barn. Its façade has an offset pedestrian door and a centered, angled bay window on the first floor; a small six-pane window in the center and paired, multi-paned, double-hung windows to the north on the second floor; and a multi-paned, double-hung window centered in the gable peak.

A second house on the parcel, known as 246 Concord Road, is not clearly visible from the street and was not able to be accessed for documentation during this survey project.

248 Concord Road is an unpretentious example of late 19th century residential development in Sudbury. Notable design features include its relatively large size; the massing of the main block, rear ells/additions, and barn; the surviving fascia trim, early porch, and fenestration; and the large, early barn. The application of artificial siding and modifications to the prominent façade of the barn detract from the building's historic integrity.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Francis Garfield House illustrates Sudbury Center's transition from an agricultural center village to a suburban community in the 20th century, and from the early 1940s to 1977 housed a private school for children with special needs. Born in Lincoln, Francis Garfield came to Sudbury from nearby Concord by 1855. He was a shoemaker and a farmer, while his brother, John Garfield, was in the grocery business at Sudbury Center. Francis Garfield and his wife, the former Sarah J. Battles of Wayland, had four children. They acquired their Concord Road property in three parcels, in 1871, 1880, and 1906. The 1889 atlas shows a small outbuilding attached to the rear of the house, as well as the larger detached barn to the southeast. Francis Garfield (1830-1921) served with the 34th Massachusetts Infantry during the Civil War. On his 90th birthday in 1919, he was Sudbury's oldest male resident, and by then a widower. A newspaper account reported the still-active Garfield spent the day picking apples, which he gathered for market; kept cows, pigs, and hens; and maintained a fine garden [Hudson, 442, 546, 561;

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

248 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

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Middlesex South deeds, 4615:236 (1923); "Sudbury"]. His estate was assessed in 1921 for a house, barn, shed, hog house, shop, carriage house, home land (4 acres), and another one-half acre known as the Parker land. The extended multi-part house, barn, and shop were the only buildings still remaining on the property in 1942.

It appears the small cottage on the property, now known as 246 Concord Road but located on the same parcel with the main house at 248 Concord Road, may be the shop building owned by the Garfield estate in 1921. The same shop was assessed to then-owner Fred B. Weatherbee of Bolton, Massachusetts in 1942, but the precise nature of the shop has not been determined. After Francis Garfield's death, the Weatherbee family held the title to the property until 1944. Harry J. Weatherbee came to Sudbury from Waltham, and was employed as a retail hardware merchant in 1930.

Dorothea Cowie Huckel (1889-1964) and her husband, Earle Wentworth Huckel (1887-1973), owned the house from 1944 to 1966, when they conveyed the title to the charitable corporation operating their private St. Hubert's School. Originally located in Cannes, France, and serving principally American and English families, St. Hubert's School was forced to relocate from Europe with the onset of World War II. The school opened in Sudbury in 1941, possibly leasing this property before Dorothea and Earle Huckel purchased it in 1944. The Huckels had previously lived in the Boston area, when Earle Huckel earned a master's degree in education from Harvard University in 1926. While not formally trained in education, Dorothea Huckel had extensive teaching experience in Europe, and modeled the St. Hubert's approach on her knowledge of Rudolph Steiner's philosophy for Waldorf education. The Huckels served as principals of St. Hubert's School, with Helen Tilden as longtime secretary and French teacher, until their retirement in 1961. The school accepted both boys and girls as boarders or day students. In 1960, the main house served as a dwelling for the Huckels and some of the students, the barn was used for classrooms, and smaller buildings housed staff members and remaining boarding students. St. Hubert's relied entirely on tuition income to meet its expenses until the 1960s, when the need to pay salaries for the new headmaster and staff, plus carry out the necessary structural upgrades to the barn, necessitated fund-raising. St. Hubert's operated exclusively as a day school by the 1970s, drawing students from Acton, Bedford, Belmont, Concord, Dover, Framingham, Hopkinton, Lincoln, Marlborough, Maynard, and Wayland, in addition to Sudbury. It appears the school closed in 1977.

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- "St. Hubert's School launches fund drive." *Sudbury Citizen* (January 17, 1963), 7:2.
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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

248 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.178

"Sudbury broadcasts cheer to Sudbury, England 'cousins': British child, bomb victim, hears hope message from adopted mothers." *Daily Boston Globe* (1928-1960); January 16, 1942; ProQuest Historical Newspapers: The Boston Globe, p.32.

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SUPPLEMENTARY IMAGES



Barn façade (west elevation).

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

H09-0023	Maynard	SUD.A, J	SUD.95, SUD.411
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LHD 02/18/1963
NRDIS 07/14/1976

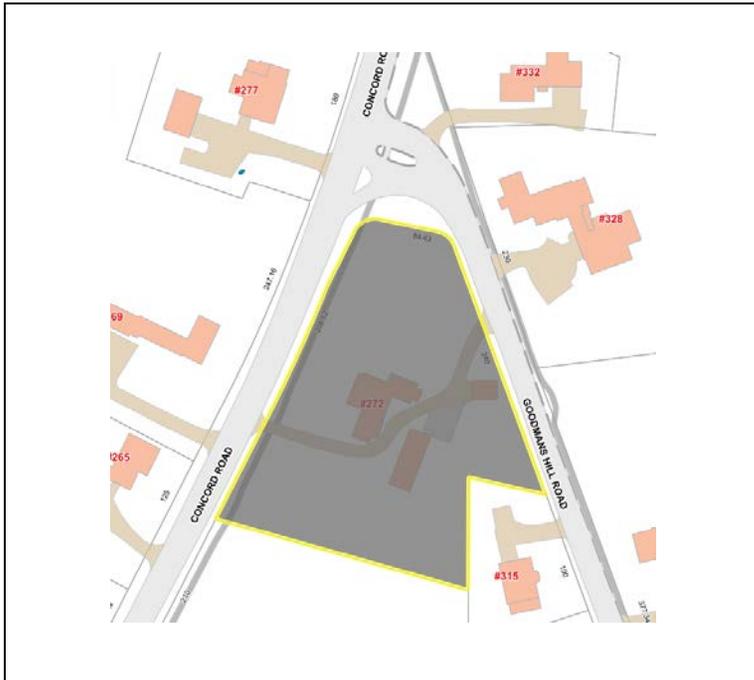
Photograph



Façade (west) and south elevations.

Town/City: Sudbury
Place: (*neighborhood or village*):
Sudbury Center
Address: 272 Concord Road
Historic Name: Curtis and Mary Ann Moore House and Barn
Uses: Present: residential
Original: residential
Date of Construction: ca. 1860
Source: maps and atlases;
visual inspection
Style/Form: Greek Revival
Architect/Builder: not determined
Exterior Material:
Foundation: stone
Wall/Trim: clapboard/wood
Roof: asphalt shingle

Locus Map



Outbuildings/Secondary Structures:
detached garage and large barn

Major Alterations (*with dates*):
Rear additions, 6/2 sash, modern bay window (ca. late 20th century)

Condition: good

Moved: no yes **Date:**

Acreage: 1.19 acres

Setting: Located in a well-developed residential corridor with large lots, a short distance south of the town center, at the intersection of two main thoroughfares. Building is set well back from the road, and street frontages are lined with fieldstone walls. Large flat lot is maintained chiefly in lawn.

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

272 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.95, 411

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The roughly L-shaped dwelling at 272 Concord Road consists of a 2½ story, front-gabled main block, facing Concord Road, with a variety of side and rear projections. The main block features a three-bay facade with side-hall entrance. A small corbelled chimney perched mid-way along the ridge. Corner pilasters, a well-developed entablature, and pronounced gable returns trim the walls. Regular fenestration consists of 6/6 wood sash and flat casings.. A one-story porch wraps around the façade and south side of this volume; its flat posts with cut-out center panels support an entablature similar to the main roof. The façade has by an offset main entrance with narrow, full-height sidelights, modest cornice molding on its windows, and a round-arched window centered in the attic story.

Extending from the south side of the main house is a long, 2-story gabled wing displaying a fieldstone foundation. Its walls are trimmed with narrow corner boards, a molded frieze board, and gable returns. Windows are unevenly spaced across the front façade (west) and rear (east) elevation. They consist of 6/6 sash on the first floor and shorter 6/2 sash on the second floor, all with flat trim. A secondary entrance with a single-leaf door is positioned at the north end of the wing, under the front porch on the main block. The wing's south gable end has a modest, modern boxed bay window centered on its first floor and a small 4-light window centered in the gable peak. A slender chimney rises near the middle of the ridgeline.

The rear (east) elevations of the house are fenestrated similar to the facades, although all windows here are rectangular in shape. A shed-roofed porch extends across the back of the ell, and a compact, two-story addition joins the rear wall of the main block with the setback rear wall of the wing. A one-story, gabled addition at the northeast corner of the main block has regularly placed, comparatively small 6/6 windows on its west, north, and east elevations.

Southeast of the house is a wood frame, New England-style barn. This long, front-gabled building rises 1½ stories from a fieldstone foundation (with open bays at the south elevation and at the north end of the west elevation) to an asphalt shingle roof. Clad with unpainted board and batten siding, the barn has no wall trim or gable returns, and features small, 6-light window sash with flat casings. Fenestration is scarce and irregular on the long west elevation; symmetrical on the south gable end, which also features a large 6/6 window in the gable peak; and non-existent on the long east elevation. Both long elevations have a small pedestrian door at their south ends. The front (north) façade has a large barn door and a pedestrian door at ground level, a 6/6 window in the gable peak, and wood shingle siding on the first floor. All barn doors are constructed of vertical boards.

Well preserved and well maintained, 272 Concord Road is a handsome example of aspirational, mid-19th century farmhouse design in Sudbury. The house is notable for its front-gable orientation, carefully articulated corner pilasters and entablature, L-shaped porch with fanciful posts, round-arched attic window, and prominent lateral wing. The accompanying historic barn is utilitarian in nature, but is remarkable for its size and for its survival with character-defining features still intact. The 1968 survey form shows the house standing on a low berm, which has subsequently been framed by a granite retaining wall near the southwest corner of the house.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The 1968 inventory form for 272 Concord Road dates the house to 1853, citing unidentified deeds. This survey project did not undertake deed research to verify that date. Historic atlases show a house (including the lateral wing on the south) first

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

272 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.95, 411

appearing on the site between 1856 and 1875. The first owner named here on an atlas is C.B. Moore, in 1875. Curtis Benjamin Moore (1828-1900) was born in Sudbury and in 1861 married Mary Ann Elizabeth Brown (1841-1893), with whom he had three children. (The house might have been built at the time of the Curtises marriage, a common motive for house construction.) Curtis's occupation is consistently listed on his marriage record and in the state and national censuses as farmer. In 1859, Curtis's real estate was valued at \$1,600; in 1870 at \$2,000; and in 1890 at \$1,485. The specific location of all his holdings has not been determined; further research is merited.

C.B. Moore was still identified at this property in the 1889 atlas. In 1898, it was sold to Francis Bent, a stone mason, who was married to Abbie E. Smith, with whom he had four daughters. The 1900 census appears to show Francis, by then a widower, living on this property with two of his daughters and a Canadian-born housekeeper. By 1904 the property had passed to Francis's brother, George H. Bent, who is described as a farmer (Find A Grave), day laborer (1900 U.S. census), and "agent" (1904 directory). George Bent and his wife Lydia had at least one child, Samuel E. Bent. It has not been determined if George Bent and his family lived at the property or whether he rented it out.

In 1904, the property was acquired by Lafayette Dadmun (also spelled Dadman), who had five children with his wife, Nancy Maria Horton. Lafayette worked as a driver for an express company early in life, before moving to Sudbury, where he is identified as a farmer from at least 1880 through 1915. The Dadmuns were tenants at the Wayside Inn from 1874 to 1889, following Lafayette's uncle, Orin Dadmun (Plumb, 66). The 1890 valuation book shows Lafayette owning horses, cows, a bull, carriage, wood and lumber, a house, barn, two sheds, and 100 acres of "home land". In 1910, Dadmun's occupation (at age 70) was identified as teamster with his own team. It is not known whether Lafayette and his family lived at 272 Concord Road themselves, or whether they rented it out; further research is merited.

In 1917, Dadmun sold the land and buildings at 272 Concord Road to Samuel N. Sanders of Sudbury. Born in Nova Scotia, Sanders immigrated to the U.S. in 1869. He is identified as a carpenter in the 1920 U.S. census and as a farm superintendent (unknown dates) in Find A Grave. Sanders and his wife Laurilla had three children. Although the children appear not to have lived here themselves after their father died in 1933, the Sanders family owned the property at 272 Concord Road until 1945, when it was acquired by Louise E. Atkinson of Sudbury. Atkinson was the widow of Harold Atkinson, who had owned a house painting business. In 1958, Louise (by then married to Alfred LaFond), sold the property to John R. and Mary Ann Moore of Wayland (no known relation to Curtis B. Moore). In the 1969 resident list book, John Moore was identified as an engineer; his wife Mary Ann was listed as a housewife. The 1968 survey form noted that local philanthropist Joanna Gleason lived here at an unknown time; corroborating evidence was not discovered during research for this survey project. It appears likely that she lived across the street at 328 Goodmans Hill Road (SUD.44), based on the 1889 map and the inventory form for that property.

The age of the barn standing east of the house has not been established. The barn first appears in the historic atlases in 1889, along with a driveway extending between the building and the intersection of Concord and Goodman's Hill roads. The barn may predate 1889, although it is not depicted in the 1875 atlas, when the house first appears; no outbuildings are indicated on any properties in the vicinity in that atlas. Interior inspection and further research are recommended.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

272 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.95, 411

Tax valuations, Town of Sudbury: 1859, 1870, 1890, 1921.

U. S. census records: 1790-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed March 2021.

U.S., Find A Grave Index, 1600s-Current. www.ancestry.com. Accessed March 2021.

SUPPLEMENTARY IMAGES



Façade (west elevation) detail: Main entrance and porch.



Barn: West and south elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

H09-0005	Maynard	SUD.A, J	SUD.100, SUD.412, SUD.413
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LHD 02/18/1963
NRDIS 07/14/1976

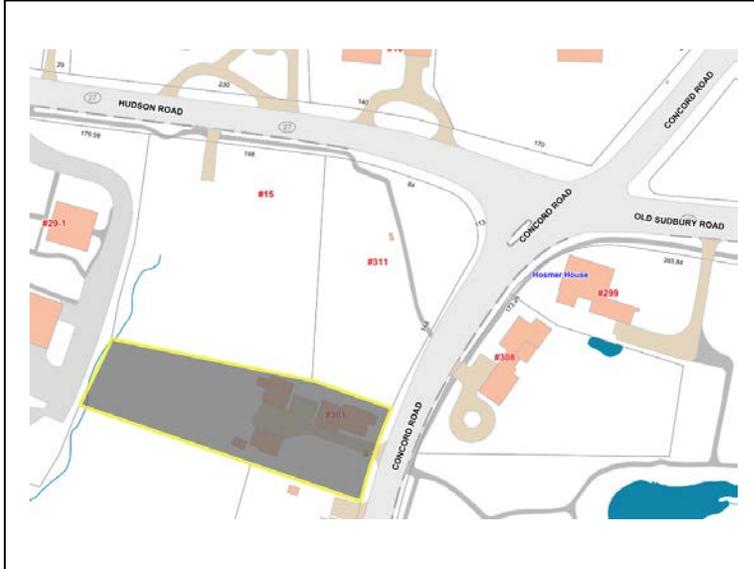
Photograph



Main House: South and façade (east) elevations. Garage at lower left.

Locus Map

↑
north



Town/City: Sudbury

Place: (*neighborhood or village*):
Sudbury Center

Address: 301 Concord Road

Historic Name: Jonas S. Hunt House, Barn, and Garage

Uses: Present: residential
Original: residential

Date of Construction: ca. 1870

Source: maps and atlases, census

Style/Form: Italianate/Mansard

Architect/Builder: not determined

Exterior Material:

Foundation: brick

Wall/Trim: wood shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
barn (ca. 1890-1906), garage (ca. 1921), shed

Major Alterations (*with dates*):
front porch (L 19th – E 20th c) – side addition (E 20th c?) –
shingle siding (L 20th c?) – replacement sash (L 20th – E 21st c)

Condition: good to fair

Moved: no yes **Date:**

Acreage: 0.50 acres

Setting: Located on a main north/south thoroughfare in a well-developed residential area, a short distance south of the historic town center. Building has a modest front setback, on a lot that slopes down significantly from the street and is maintained chiefly in lawn.

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

301 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.100,
SUD.412, SUD.413 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

301 Concord Road consists of a house, original or early barn, and an early garage. The house comprises a main block, rear ell, and an addition to the side of the ell. The main block of the house rises 2½ stories to a mansard roof; a chimney rises above the southwest corner of the roof. Walls are clad with wood shingles and trimmed with a fascia board. A cornice molding encircles the break in the mansard roof. Windows typically occur singly and have 2/1 replacement sash and band molding. Dormer windows (two on each elevation) have scrolled brackets supporting a peaked hood. Basement windows typically contain 6-light sash. Almost square in plan, the main block has a two-bay façade with an offset entrance composed of a single-leaf door with band molding and a flat roofed porch with square Tuscan posts. The south elevation has two widely spaced windows on each floor. The north elevation has a similar composition, although the first floor window at the rear has been replaced by a large, single-light picture window, and a small 2/1 window has been inserted between the typical second floor windows. The rear elevation has a 2/2 window (perhaps original and perhaps a storm sash) at the north corner on the first floor, and a small single-pane sash above. Rising 1½ stories, the rear ell has a fully exposed basement at the back (west). It has irregular fenestration of varied shapes, sizes, and styles. The ell has a single dormer window, without peaked hood, centered on its north and west roof slopes, and a dormer with paired windows centered in the south roof slope. A one-story addition with a fully exposed basement and flat roof projects from the south side of the rear ell. It has banded, 2/1 and 2/2 windows on the first floor; its basement level features a single-leaf door with cornice-molded hood flanked by small, paired 2/1 windows.

Positioned to the southwest of the house is a small barn (SUD.412), clad with wood shingles, which rises 1½ stories to a front-gabled roof; no gable returns. A shed-roofed extension is appended to the west side of this outbuilding. The façade faces north and contains an offset barn door and a tall hayloft door that appears to be centered in the half-story. Both doors are constructed of vertical wood boards. Paired 2/2 windows with flat trim are centered in the east elevation, facing the street. Located directly behind the house is an early wood-frame garage (SUD.413) with shingle siding and a front-gable roof. Two vehicle doors are centered on its façade (south elevation). Three 2/2 windows are evenly spaced across the rear (north) elevation; two widely spaced 2/2 windows are located on the east elevation.

Well maintained and relatively well preserved, 301 Concord Road is an unassuming example of late 19th century residential development in Sudbury Center. Modestly detailed, notable features includes the massing of the main block and rear ell, its mansard roofs, early front porch and side addition, mostly intact fenestration, and pedimented dormer windows on the main block. The survival of an original or early barn and an early garage are also notable. Wood shingle siding and replacement sash detract from the historic integrity of the building.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

A village residence associated with an individual prominent in Sudbury town affairs, the Jonas S. Hunt House remained in the same family for nearly a century, from the time of its construction about 1870 until 1969. Jonas Sewall Hunt (1827-1907) was a lifelong Sudbury resident, employed as a dry goods merchant when he built this house at the town center, perhaps after July 1869, when he was appointed the U. S. Postmaster for Sudbury. The post office originally occupied a separate building immediately north of this house, though the 1889 atlas suggests the post office operation was subsequently moved into Hunt's residence. Jonas Hunt held several appointed and elected positions in Sudbury, among them representative to the General Court (1876), justice of the peace, selectman, assessor, and member of the building committee for the Goodnow Library. His principal occupation in his later years was serving as Postmaster and Town Clerk, and he remained in each post more than one-

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

301 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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SUD.100,
SUD.412, SUD.413

quarter century. In the latter capacity he also served on the committee charged with overseeing the construction, at Mount Pleasant Cemetery, of the monument honoring Sudbury's Revolutionary War soldiers (1896). Hunt married Eliza Gerry in 1852, and they had five children [Hudson, 47; Garfield, 9].

Atlases and tax valuations suggest the barn was constructed ca. 1890-1906, when Jonas and Eliza Hunt's surviving children owned the property. Arthur H. White purchased the property in 1921, and probably built the garage about that time, as he was a contractor and builder. He initially lived here with his mother, Sarah J. White, before retitling the house in 1943 to himself and his wife, the former Linda Arey. White also was a longtime member of Sudbury's Planning Board. When Sudbury's first historic properties survey was undertaken in 1968, Linda White, then widowed, still resided here, and identified Jonas S. Hunt as their great uncle. She sold the property out of the family in 1969.

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SUPPLEMENTARY IMAGES



Barn: East and façade (north) elevations.



Garage: Rear (north) elevation).

FORM B – BUILDING

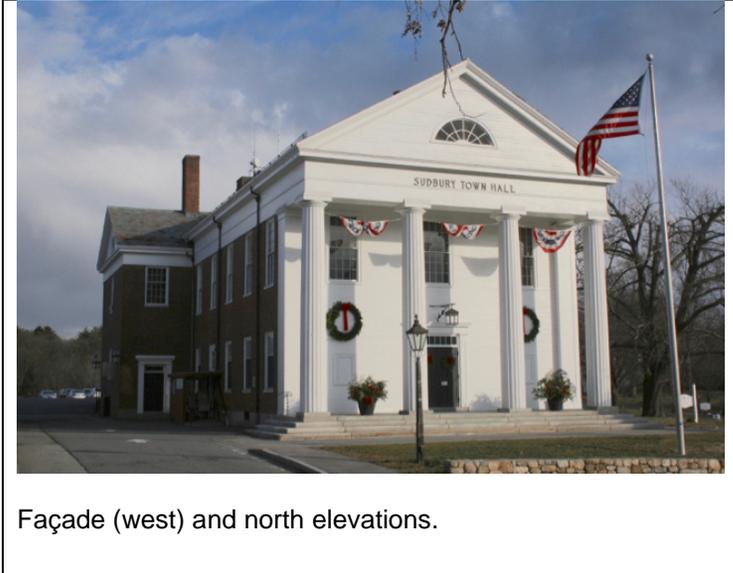
Assessor's Number USGS Quad Area(s) Form Number

H09-0062	Maynard	SUD.A, J	SUD.103
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

LHD 02/18/1963
 NRDIS 07/14/1976

Photograph



Façade (west) and north elevations.

Locus Map



see continuation sheet

Town/City: Sudbury

Place: (*neighborhood or village*):
Sudbury Center

Address: 322 Concord Road

Historic Name: Sudbury Town Hall

Uses: Present: town hall
Original: town hall, fire house

Date of Construction: 1930-1932

Source: Town Reports

Style/Form: Neo-Greek Revival/
Colonial Revival

Architect/Builder: Charles H. Way/Perkins & Wells

Exterior Material:

Foundation: granite

Wall/Trim: brick/wood

Roof: slate shingles

Outbuildings/Secondary Structures:
n/a

Major Alterations (*with dates*):
one-story rear addition (1955), handicapped ramp and entrance at rear (late 20th c?), replacement firehouse doors (turn of 21st c?)

Condition: good

Moved: no yes **Date:**

Acreage: on 27.16-acre parcel with multiple buildings

Setting: Prominent location in institutional core at town center, fronting town common; part of larger parcel of municipal buildings at intersection of Concord Road and State Route 27 (Old Sudbury Road)

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

322 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.103

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

Standing between the Sudbury Grange Hall (326 Concord Road; 1846, SUD.104) and the Rev. Israel Loring Parsonage (288 Old Sudbury Road; ca. 1710, SUD.67), Sudbury Town Hall features a graceful blend of Neo-Greek and Colonial Revival styles. The T-shaped building rises 2½ stories to a front-gable roof on the main block and side gable roofs on the north and south wings. A one-story, flat-roofed block spans most of the rear elevation. The building's monumental, temple-front façade is sheathed with flushboard; all remaining elevations are faced with brick laid in Flemish bond. A high wood entablature crowns the 2½ story volumes; the front and side gable ends are pedimented, with flushboard sheathing and blind lunette windows. Rectangular windows on the first two floors are evenly spaced, with wood sills and multi-paned sash; windows are taller on the second story. The roof is punctuated by two substantial, interior chimneys: one at the rear end wall of the main block, and a comparatively smaller chimney at the ridgeline on the north wing.

The main façade (west elevation) is three bays wide, with two-story Doric columns and a center entrance featuring double-leaf doors, a rectangular transom, and a modest classical frame with paneled pilasters and a narrow entablature. Monumental granite steps ring the three sides of the portico. A metal plaque depicting the town seal is recessed into the porch floor in front of the main entrance. Windows on the front block have 8/12 sash on the ground floor and 12/12 sash on the second floor; granite clads the foundation on this volume. The side wings have 8/8 sash on the ground floor and 8/12 sash above. Secondary entrances centered on the wings' façades each contain a single-leaf door. A bracketed, gabled hood ornaments the entrance on the south wing; the entrance on the north wing has a classical wood frame, similar to the main entrance. The rear (east) elevation is more utilitarian: Its unpedimented gable end is sheathed completely with brick and topped with a blind lunette recess. The one-story addition across most of this elevation features 8/8 windows; a narrow, molded wood fascia; and a square, clapboard-clad vestibule at its north end that is accessed by a handicapped ramp. On the south elevation, the basement level contains two wide, firehouse-era doors, one in the south wing and one in the one-story rear addition.

Well preserved and well maintained, Town Hall is an important example of civic architecture, prominently sited in the historic town center. Distinguishing features include its cross-shaped massing, combination of materials, temple-front composition with imposing portico, variety of fenestration, and multifarious entrance designs.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Designed in 1930 and dedicated in 1932, Sudbury Town Hall is the second town hall building in Sudbury and the major municipal building at the town center, constructed to replace the Greek Revival-style Town House (1846) destroyed by fire on February 5, 1930. The Town House had occupied the grounds of the First Parish Church, 327 Concord Road (SUD.101), positioned between the road and the church's carriage sheds (SUD.102, see form). The road alignment has since been altered.

Chaired by selectman Harvey N. Fairbank, the Town Hall Building Committee convened shortly after the fire to plan for replacement construction. The committee considered several building locations, including rebuilding on the original church-owned site, and building anew at South Sudbury, then more populous than the town center. Ultimately, the town acquired from Joel Haynes approximately 12 acres across Concord Road from the original location. Fronting the common and abutting school land on Old Sudbury Road, this parcel ensured the new Town Hall would remain at the geographic center of Sudbury. The present Town Hall replaced the Haynes barn, while the Haynes house survives as the Rev. Israel Loring Parsonage, 288 Old Sudbury Road (SUD.67), now the Sudbury Historical Society.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

322 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.103

Town Hall was designed to evoke the temple-front Town House on the exterior, and the modern interior accommodated social and school-related functions in addition to the business of town government. Sudbury residents Joseph E. Chandler, Ralph Adams Cram, and Charles H. Way, all professional architects, assisted the Building Committee in assessing possible building sites and developing cost estimates. Charles Way, then also chairman of the town's Planning Board, designed the building, and Perkins & Wells of Concord was the general contractor. Architectural plans included a double-height auditorium on the upper stories, seating approximately 500 with a stage and balcony; a multi-purpose "supper room" on the first story that could seat 260; a hearing room seating 50, opening into a single town office with adjoining vault; new space for the branch library then operating at the town center; and a fire station built at grade on the south elevation fronting Old Sudbury Road. The building was dedicated Monday, February 22, 1932, under the direction of Harvey Fairbank and Henry E. Rice, chairman of the Dedication Committee.

Charles Henry Way, AIA (1878-1965) was born in Belmont, apprenticed in the architecture office of William G. Rantoul, and took two years of night classes at the school of the Boston Architectural Club. He moved to Sudbury in 1909, serving the community in multiple elected and appointed positions: selectman (nine years), organizer and first chairman of the Planning Board (nine years), chairman of the Sudbury Tercentenary Committee (1938-1939), chairman of Civil Defense (during World War II), and Town Clerk Pro-Tem. In 1939 he expanded the former Candy House, 38 Candy Hill Road (SUD.127), for use as his residence. Reportedly one of the first registered architects in Massachusetts, Charles Way was described in census records as a domestic architect, but also designed a number of commercial and institutional buildings, among them the Prince Macaroni Building, 43-63 Atlantic Avenue, North End, Boston (1917, BOS.5176); alterations to the Hudson Savings Bank, 42 Main Street, Hudson (1895, HUD.18); Manter Hall School, Cambridge; and alterations in 1941 to Acton High School, 3 Charter Road (1925, ACT.656). He became known for his Colonial restoration work in town, including two projects at the Wayside Inn, 72 Wayside Inn Road (SUD.4, 1952 and a post-fire restoration in 1955), as well as the First Parish Church, 327 Concord Road (SUD.101, restored in 1960-1961). Charles Way maintained an office in Boston until his retirement in 1958.

Sudbury's population grew from 1,182 in 1930 to about 5,000 in 1955, with a concomitant expansion of town services. Construction of a one-story rear addition to Town Hall, built above the basement-level Fire Station, addressed the inadequate town office space provided in the original 1930 building. J. J. Bonavire, Inc. of Natick was the builder. This addition was repartitioned ten years later to provide offices for the Executive Secretary, Town Clerk, Tax Collector, and Assessors, and a Selectmen's meeting room, while adjacent spaces in the 1930 building were reconfigured to create a central counter service area for paying bills, obtaining permits, and scheduling appointments. The auditorium, known as upper Town Hall, was principally used by local theater groups, chiefly the Sudbury Players. The Fire Department occupied the basement level until 1994, when a new Central Fire Station was built at 77 Hudson Road.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

322 CONCORD RD

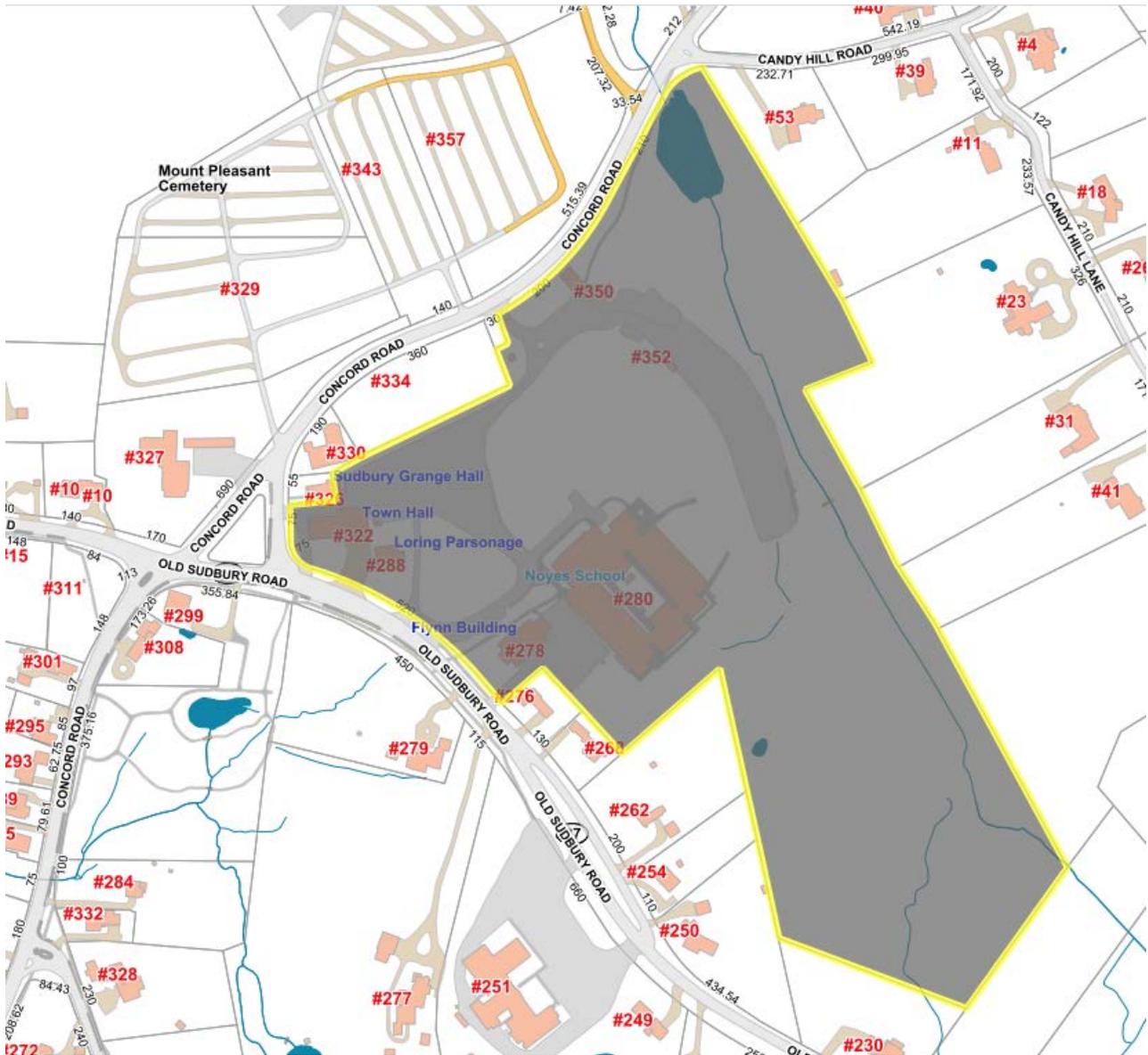
MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J	SUD.103
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LOCUS MAP

↑
north



INVENTORY FORM B CONTINUATION SHEET

SUDBURY

322 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J	SUD.103
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SUPPLEMENTARY IMAGES



South elevation.



East and north elevations.



Main entrance detail.



Town seal at main entrance.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

H09-0064	Maynard	SUD.A, J	SUD.104
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

PR 04/26/2001

LHD 02/18/1963
NRDIS 07/14/1976

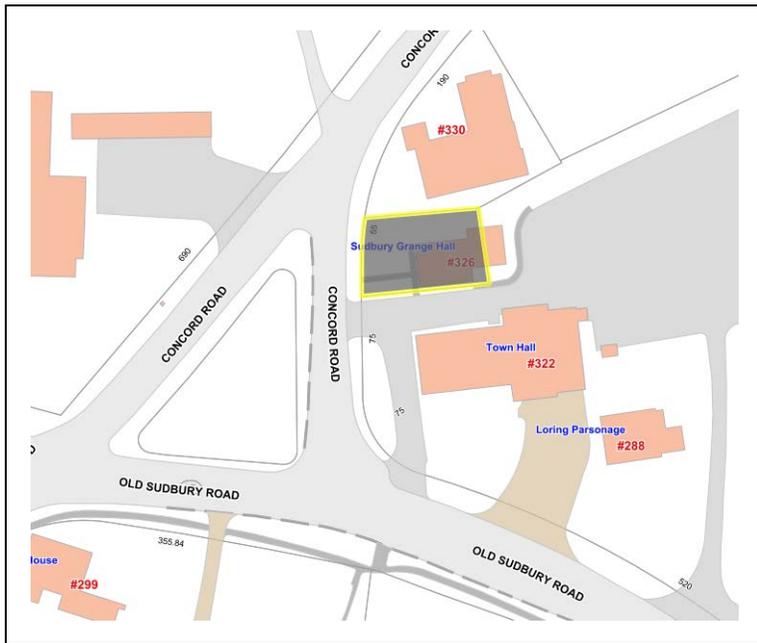
Photograph



Town/City: Sudbury
Place: (*neighborhood or village*): Sudbury Center
Address: 324-326 Concord Road
Historic Name: Center District School – Sudbury Grange No. 121 Hall
Uses: Present: meeting hall, offices
 Original: school
Date of Construction: 1848-1849
Source: *Architectural Survey* (see bibliography)
Style/Form: Greek Revival
Architect/Builder: not determined

Locus Map

↑ north



Exterior Material:
 Foundation: stone, concrete
 Wall/Trim: clapboard/wood
 Roof: asphalt shingle
Outbuildings/Secondary Structures: n/a

Major Alterations (*with dates*): rear addition (2007)

Condition: excellent
Moved: no yes **Date:** 1853
Acreage: 0.12 acres

Setting: Located in the historic town center, at the intersection of two main thoroughfares, Old Sudbury Road and Concord Road. Stands between the Presbyterian (originally Methodist) Church and Town Hall. Set on a generally flat site with a low, granite block wall at the southwest corner. The moderate front setback is maintained in lawn.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

324-326 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.104

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

Sudbury Grange No. 121 consists of a rectangular main block with a rear ell offset at the northeast corner. The main block rises two stories to a front gable roof with a pedimented façade. Its rear elevation has modest gable returns. A metal chimney rises from the south slope of the roof, near the façade. Walls are sheathed with clapboards and trimmed with a simply molded fascia, slender pilasters at the front corners, and flat cornerboards at the rear of the building. Windows typically occur singly, are evenly spaced, and have 12/12 sash with flat casings and a small lintel cap. The façade has two entrances on the first floor, with a 6/6 window between, and three windows vertically aligned above. The front entrances consist of four-panel, single-leaf doors with a multi-pane glazed transom, flat casings, and a slightly projecting lintel with modest lintel cap. The blank tympanum of the façade is sheathed with clapboards. The symmetrical north and south elevations have three windows on each floor. The rear (east) elevation has one bay of windows. Rising two stories, the rear addition has an asymmetrical gable roof whose north slope is coplanar with the north slope of the main block. The south elevation of the addition has an offset entrance with a utilitarian, shed-roofed porch and two widely-spaced windows above. The rear (east) elevation of the addition has two typical windows towards the south on the second story, and two small, square windows towards the north on the first floor. A small shed-roofed dormer emerges from the north slope of the roof.

Well preserved and well maintained, Sudbury Grange No. 121 is a modest example of mid-19th century civic architecture and an uncommon survivor of early, wood-frame schoolhouse construction. Unusually intact, notable architectural features include the building's simple massing, pedimented façade, double entrances with transoms, 12/12 window sash, and unpretentious trim. The rear addition is sympathetic in scale, form, trim, and massing.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

A significant historic institutional building at the town center, serving as a public school until about 1890, the Grange Hall reflects the continuing importance of agricultural life in Sudbury. The building was constructed in 1848-1849 on the town common as a one-story schoolhouse for the Center District or District No. 1. The schoolhouse was moved to its present site in 1853, after the Town of Sudbury acquired the land from Elisha W. Haynes. On the present site, the building "was "fitted up for the use of two schools – primary and grammar" [Hudson, 527] in 1860, accomplished by lifting the schoolhouse and constructing a new floor at ground level, yielding the present two-story building. The only district school in Sudbury to offer separate grammar and primary classrooms, the Center District School housed between 70 and 77 pupils in the fall, winter, and spring terms of the 1888-1889 school year [Annual Report, 24], before the town built a new Center School at 278 Old Sudbury Road (see form).

Town Meeting on June 23, 1890 voted to direct Sudbury selectmen Atherton W. Rogers, George A. Haynes, and John M. Conant to sell the old Center District School at a public auction, which was held May 13, 1891. Sudbury Grange No. 121 Patrons of Husbandry, through its executive committee members Elmer R. Smith, George Lawrence, and Frank M. Bowker, submitted the highest bid, acquiring the building for \$390 [Middlesex South deeds, 2049:397]. Organized March 5, 1885, Sudbury Grange No. 121 is a social and advocacy organization historically devoted to furthering agricultural matters and rural life within the community. Sponsoring lectures and community events, the Grange has used the building continuously for meetings and social activities, and the hall has long served as a community meeting space.

The Sudbury Grange received a special appropriation grant from the Massachusetts Historical Commission in 2001 for refurbishing the building, which funded installation of a new roof, procurement of new wood window sash and door shutters, and

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

324-326 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.104

exterior painting using a documented ca. 1904 color scheme. In 2007, the Grange Hall was rehabilitated on the interior to meet building code and universal access requirements, and expanded with the construction of a two-story rear addition. The second floor is used by the Sudbury Grange and retains a meeting space often used for public meetings. The first floor houses the first permanent offices of The Sudbury Foundation, which funded the renovations and provides grants to nonprofit organizations in Sudbury and surrounding communities. Latady Design Associates of Bedford and Chapman Construction/Design of Newton undertook the renovation.

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SUPPLEMENTARY IMAGES



South and east elevations.



Detail of façade.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

H09-0065	Maynard	SUD.A, J	SUD.102
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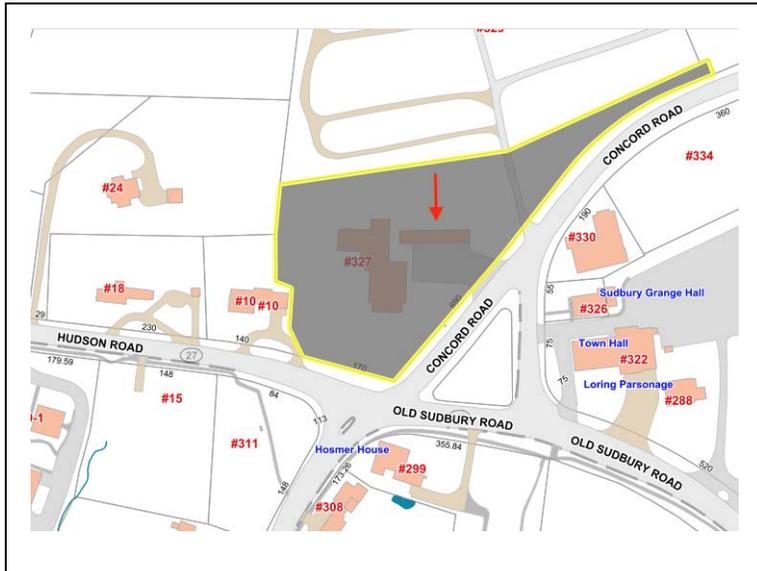
LHD 02/18/1963
NRDIS 07/14/1976

Photograph



Façade (south) and east elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
Sudbury Center

Address: 327 Concord Road

Historic Name: First Parish Church of Sudbury
Carriage Shed

Uses: Present: garage, storage

Original: carriage shed

Date of Construction: ca. 1799

Source: town records, Langmuir and Swanson

Style/Form: no style

Architect/Builder: not determined

Exterior Material:

Foundation: concrete? (not visible from street)

Wall/Trim: wood clapboards, shingles, and trim

Roof: asphalt shingle

Outbuildings/Secondary Structures:
n/a

Major Alterations (*with dates*):

posts on stone bases, shingle siding on arch spandrels, possible re-building of arched openings (date not determined)

Condition: good to excellent

Moved: no yes **Date:**

Acreage: 2.46 acres

Setting: Located in the historic town center, at the intersection of two main thoroughfares, Old Sudbury Road and Concord Road. Set on a large hillside parcel belonging to the First Parish Church, positioned to the northeast of the sanctuary building. Abuts a paved surface parking lot.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

327 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.102

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The carriage shed of the First Parish Church is a long, linear structure rising one story to an asymmetrical, side-gabled roof with a deeply overhanging eave at the front. The façade (south elevation) has 11 bays defined by square Tuscan posts rising from a stone base. Surmounting the posts are curved, shingled spandrels that form flat-arched openings on the bays. The five westernmost bays are enclosed with pairs of hinged, vertical-board doors; the eastern six bays are open. The asymmetrical end walls of the carriage shed have a longer roof slope on the north side; they curve up and out at the façade to meet the eave of the south roof slope. The end walls appear to be sheathed with clapboards at the base and wood shingles in the gable peak. The east end wall is blank; the west end wall is not visible from the street. Closer physical inspection and further documentary research are merited to confirm the age and evolution of this structure.

Well maintained, the carriage shed is an unpretentious and uncommon early outbuilding. Notable architectural features include its unusually long shape, asymmetrical gable roof with curved end walls, and rhythm of posts and arched bay openings across the facade.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Town of Sudbury built a range of carriage sheds here in 1799, one of two such ranges constructed behind (north of) the meetinghouse (First Parish Church of Sudbury, 1797, SUD.101). The carriage sheds, originally known as stables, sheltered horses belonging to attendees of worship services or town meetings held at the meetinghouse. A center meetinghouse generally served both religious and municipal functions until a town built a separate town hall (town house), though some town meetings in Sudbury were conducted in private homes in the late 18th and early 19th centuries [Hudson, 86, 425, 430-431]. A more detailed study of town meeting locations in Sudbury may be a topic for future research. After Sudbury built its first town hall northeast of the meetinghouse on Concord Road (1846, burned 1929), these carriage sheds served both the meetinghouse and the new town hall. See Alfred Hudson's *History of Sudbury* (1889, page 365) for an illustration showing the meetinghouse, both ranges of carriage sheds, and the first town hall.

On May 6, 1799, a committee composed of Phineas Puffer, Hopestill Willis, and Ebenezer Plympton staked the ground for erecting stables about 35 feet behind the meetinghouse. Town Meeting voted on May 20, 1799 that Daniel Noyes and others be directed to erect the front of "their stables" 36 feet north of the meetinghouse, in a straight line, "as the bounds are now erected," as well as "upon the ground, Near a Great Rock, at the North=Westery End of said Meeting-House." These locations appear to refer to the east range and west range of carriages sheds, respectively [Town records]. It appears certain citizens owned a carriage shed, in a manner comparable to owning a pew in the meetinghouse. Tilley Smith of 136 Old Sudbury Road (see area form for Fairbank Farm) owned a carriage shed at the meetinghouse at the time of his death in 1858. Closer examination of deeds is needed to confirm how individuals acquired carriage sheds, and when the practice was abandoned.

While the two ranges of carriage sheds were built at the same time, the west range was demolished in 1964 to accommodate construction of a religious education wing (the Atkinson Wing) at the rear of the First Parish Church [Langmuir and Swanson]. Additional ranges of Federal-period carriage sheds are extant in Massachusetts, notably in Wayland, where a well preserved twelve-bay building (1815, WAY.73) survives east of the First Parish Church in Wayland, 225 Boston Post Road (1814, WAY.74)

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

327 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.102

An 1826 Massachusetts Supreme Court ruling confirmed that meetinghouses in the Commonwealth were owned by their respective parishes, not the towns [Sweeney, 87]. It is unclear whether the carriage sheds were incorporated into the property of the First Parish Church, as they now are, about that time.

BIBLIOGRAPHY and/or REFERENCES

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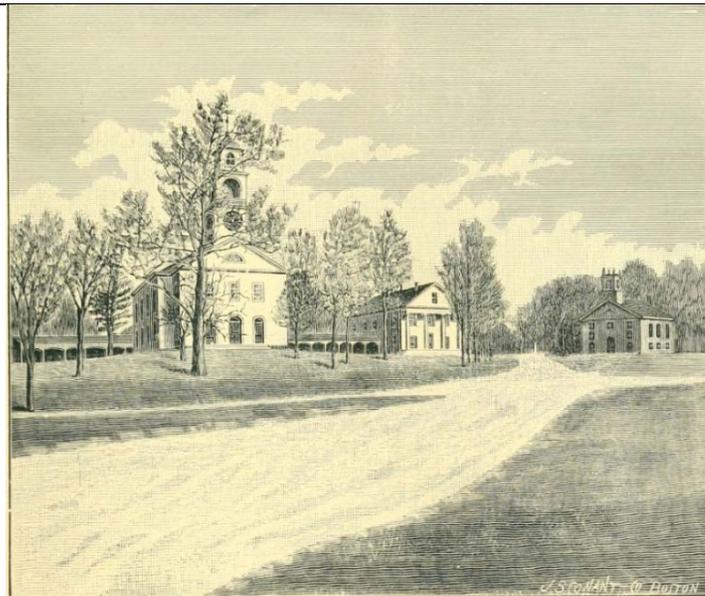
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MHC MACRIS database.

SUPPLEMENTARY IMAGES



Historic image of Unitarian Church, Town House, and Methodist Church. Carriage sheds shown at center left. Courtesy of Hudson, *History of Sudbury*: 365.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

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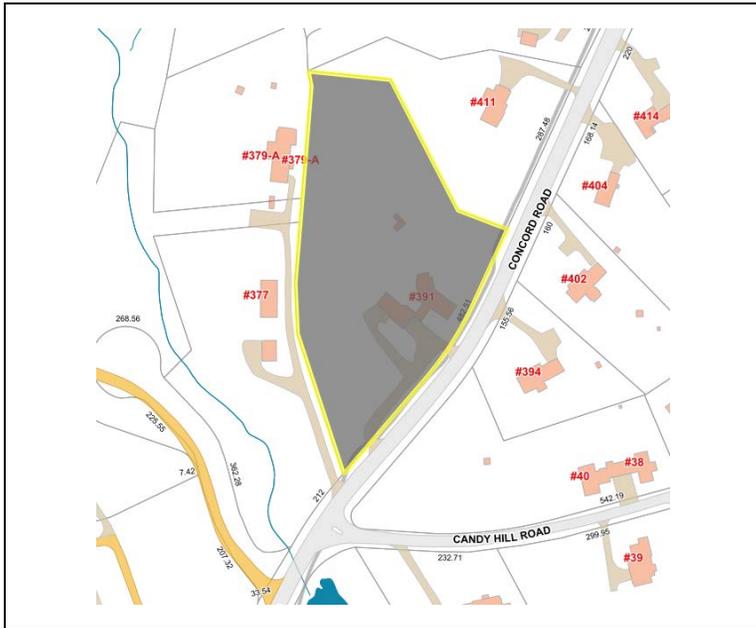
LHD 02/18/1963
NRDIS 07/14/1976

Photograph



East and façade (south) elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
Sudbury Center

Address: 391 Concord Road

Historic Name: James J. Puffer House

Uses: Present: residential
Original: residential

Date of Construction: ca. 1854-1855

Source: deeds, vital records

Style/Form: Greek Revival

Architect/Builder: James J. Puffer, bldr.

Exterior Material:
Foundation: stone, concrete
Wall/Trim: clapboard/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:
attached barn (ca. 1850s?); shed

Major Alterations (*with dates*):
bay window, shed dormers, rear ell, front ell entrance, rear addition on barn (mid to L 20th c)

Condition: good

Moved: no yes **Date:**

Acreage: 3.18 acres

Setting: Located in a well-developed residential corridor with large lots, a short distance north of the historic town center. The parcel slopes up from the street, with a fieldstone retaining wall along the street edge. The moderate front setback is maintained chiefly in lawn, with mature trees, a small orchard south of the house, and several stone retaining walls.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

391 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.184

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

391 Concord Road consists of a main house, a collection of front, side, and rear ells, and an attached barn. The house faces south. The main block is a 1½ story cottage with a side-gabled roof and a short chimney positioned slightly off-center. The side ells also have 1½ stories with gabled roofs. The side-gabled barn is a tall 1½ stories (perhaps a full 2½ stories, if confirmed by interior inspection) with a side-gabled roof without gable returns. Walls are typically sheathed with clapboards and trimmed with flat corner boards. The main block and side ell (immediately to the west) have flat sillboards and a simple but robust fascia. Windows typically occur singly and have 6/6 sash and flat casings. The main block has wide shed-roofed dormers on the front and back. The facade of the main block appears originally to have been five bays with a center entrance; a modern, angled bay window is presently located to the east of the main entrance. The single-leaf doorway appears to have band-molded jambs and a cornice molding. Two widely spaced windows occupy the shed dormer on the east end of the front roof slope; a small gabled dormer with a six-light window is perched on the west end. The pedimented east elevation of the main block has two windows on each floor. Its rear elevation has a screen-enclosed porch at the first floor and a shed-roofed dormer on the roof slope. Westernmost in this residential composition is a perpendicular wing that projects to the front of the building. This front wing rises 1½ stories to a side-gabled roof without gable returns. Its east-facing façade contains an offset entrance with a modern, Colonial Revival door frame and paired windows to the north. Its south gable end is blank on the first floor and has a small 6/6 window centered in the half-story. The end of a shed-roofed dormer is visible on its rear slope. The rear of the residence has an angled 1½ story ell with a shed-roofed dormer facing east, regularly arrayed 6/6 windows, and an exterior chimney on its rear gable end. A greenhouse extends northward from the gable end at the basement level.

Attached to the southwest corner of the dwelling is a banked, English-style barn. Its asymmetrical façade (east elevation) has board and batten siding, double-leafed barn doors at each end, and a small four-light window centered between them. The southern doorway is surmounted by a small, four-light window; the northern doorway has a multi-pane transom across the top. The symmetrical south elevation of the barn has a slightly overhanging gable peak, flat sill board, three 6/6 windows evenly spaced across the ground floor, and a triangular arrangement of four-light windows centered in the gable peak. A deep, shed-roofed addition at the back of the barn features three pairs of arched, double-leaf doors at the basement level and two four-light windows in its half-story.

Well maintained, 391 Concord Road is a modest but striking example of rural domestic architecture in Sudbury, displaying a long history of additions and modifications. Significant architectural features include the massing of the main block and side ell and the original or early perpendicular front wing (perhaps an early outbuilding); the assertive fascia and pedimented side gable of the main block; and the attached original or early barn. Alterations, while many, are generally in scale and character with the original design.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The James J. Puffer House is an important example of a mid-19th century dwelling in Sudbury built by a carpenter for use as his own residence. Born in Marlborough, James J. Puffer (1829-1907) was working as a carpenter in Sudbury by 1850. In December 1853, he purchased land from Samuel A. Willis and likely built the house in anticipation of his 1855 marriage to Henrietta Wheeler. After her death, Puffer married Almira F. Hunt (1840-1915), who survived him. It appears the barn was in place by 1859, and the property encompassed as many as nine acres during James Puffer's lifetime. His children, Loring F. Puffer and Marietta Puffer Hunt, inherited the house. Marietta was married to Warren Hunt, a railway mail clerk who may have

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

391 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.184

worked for the New York, New Haven & Hartford Railroad that operated directly west of the house. While the Hunts resided on Concord Road, it is not clear whether they lived here, as Warren Hunt also owned other houses on Concord Road. This house remained in the Puffer family until 1944, by which time the parcel was reduced to roughly three acres.

As was the case in many Sudbury households after World War II, subsequent owners were engaged in business interests beyond Sudbury. Charles R. Capon (d. 1954), who owned the house from 1944 to 1954, was a commercial artist and typographer. A native of Toronto, Canada, he studied art at the Ontario Academy of Design and in Europe. He arrived in the United States in 1904, directing art departments in Philadelphia, Detroit, and Cleveland before settling in Boston in 1917. He moved with his family to Sudbury by 1930, and previously resided on Goodmans Hill Road and in another house on Concord Road. Capon was best known for his design of bookplates, many of which are in the permanent collections of the American Antiquarian Society, the Boston Athenaeum, and the Library of Congress. He was a member of the Sudbury Planning Board, the Boston Society of Printers, the American Institute of Graphic Arts of New York, the Boston Society of Arts and Crafts, and the Millwood Hunt Club in Framingham. Retiring to New Hampshire, Charles and Grace Capon sold the Puffer house to Earl E. Chadsey, Jr., and his wife, Ida. Earl Chadsey (d. 2003) was born in Saugus and graduated from Harvard University. He was head of the chemistry department at Saugus High School, and also worked as a research chemist at National Research in Cambridge and the Norton Company in Worcester. The Chadseys were active in the Boy Scouts and Brownies in Sudbury, and Ida Chadsey held positions with the League of Women Voters and the Sudbury Co-operative Preschool. The house remained in the Chadsey family until 1988.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

391 CONCORD RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J	SUD.184
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SUPPLEMENTARY IMAGES



Barn: South and façade (east) elevations.

FORM F – STRUCTURE

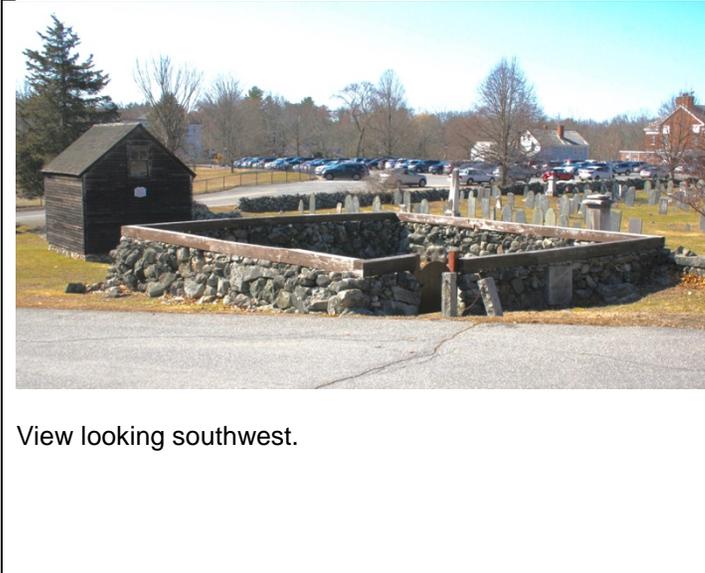
Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

none assigned	Maynard	SUD.A, J	SUD.904
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LHD 02/18/1963
NRDIS 07/14/1976

Photograph



Town/City: Sudbury

Place (*neighborhood or village*): Sudbury Center

Address or Location: Concord Road
(between #334 and #350)

Name: Sudbury Town Pound

Ownership: Public Private

Type of Structure (*check one*):

- | | |
|---|---|
| <input type="checkbox"/> boat or ship | <input checked="" type="checkbox"/> pound |
| <input type="checkbox"/> canal | <input type="checkbox"/> powderhouse |
| <input type="checkbox"/> carousel | <input type="checkbox"/> street |
| <input type="checkbox"/> dam | <input type="checkbox"/> tower |
| <input type="checkbox"/> fort | <input type="checkbox"/> tunnel |
| <input type="checkbox"/> gate | <input type="checkbox"/> wall |
| <input type="checkbox"/> kiln | <input type="checkbox"/> windmill |
| <input type="checkbox"/> lighthouse | |
| <input type="checkbox"/> other (<i>specify</i>) | |

Date of Construction: 1797-1798

Source: Hudson, *History of Sudbury*

Architect, Engineer or Designer: n/a

Materials: fieldstone, wood

Alterations (*with dates*):
restored (1939)

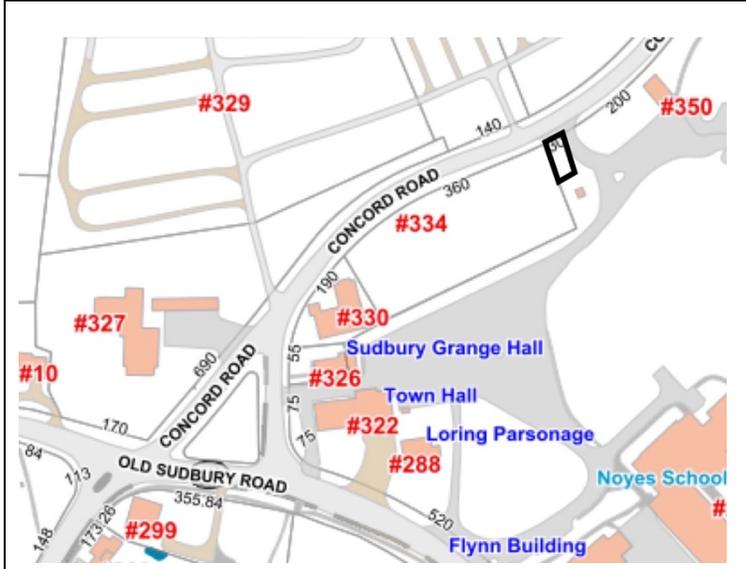
Condition: excellent

Moved: no yes **Date:**

Acreeage: less than one-quarter acre

Setting: Prominent location in the institutional core at the town center, adjacent to the Revolutionary Cemetery and a larger parcel of municipal buildings at the intersection of Concord Road and State Route 27 (Old Sudbury Road). Set near the road on a small parcel that slopes down to the south and is maintained chiefly in lawn.

Locus Map



Recorded by: W. Frontiero, K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM F CONTINUATION SHEET

SUDBURY

CONCORD RD (TOWN POUND)

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.904

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

DESIGN ASSESSMENT

Describe important design features and evaluate in terms of other structures within the community.

The Town Pound is a small square enclosure consisting of low, dry-laid fieldstone walls topped with lap-jointed heavy timbers. The north wall has a narrow opening framed by square wood posts; its small, round-arched door is constructed of vertical wood boards. Two cut-granite posts are positioned just outside the entrance. Set into the center of the north wall, facing the street, is a granite plaque reading "SUDBURY/TOWN POUND/ BUILT IN/1798/RESTORED AND MARKED/BY/WAYSIDE INN CHAPTER D.A.R./1939."

HISTORICAL NARRATIVE

Explain the history of the structure and how it relates to the development of the community.

The Town Pound is the third consecutive structure (and the first on this site) built by the Town of Sudbury to corral stray animals. To minimize crop damage due to "wandering oxen, cows, horses, sheep and unyoked swine" [Hall], the town's appointed Field Driver apprehended stray animals and directed them into the pound, where they remained under the supervision of the town's Pound Keeper. Owners were charged a fine to cover the cost of feed for their animals until retrieval.

In [October] 1797, \$20.00 was granted by the town to build a new pound at the east end of the Burying Ground on Concord Road, the wall of which was to be used as one side of the pound. It was to be thirty feet square and six feet high. The builder could use any of the stones around the Common "except the horse-blocks" which were large stones for mounting and alighting from a horse or carriage ["Some Historical Sites"].

Construction appears to have been completed in 1798, the date carved into the granite marked on the west face of the pound.

Sudbury's town boundaries also encompassed Wayland until 1780. The first town pound (1664), constructed of wooden posts driven into the ground at one-foot intervals, is presumed to have been built on the Wayland side of the Sudbury River. The second pound, built of stone at an undetermined date, was located on Old County Road near the present Wayland town line. Along with the construction of a new meetinghouse for the First Parish Church, 327 Concord Road (1797, SUD.101), the Town Pound illustrates late 18th-century expansion of the civic core at the geographic center of the newly configured town.

Forty-seven town pounds have been identified in MHC's MACRIS database to date, ranging in age from the late 17th century to the mid-20th century. Other Federal-period stone pounds comparable in age to Sudbury's are located in Ashburnham (1793), Dover (1793), Fitchburg (1797), Webster (1780s), Westminster (1810), and Wilmington (1814).

The Daughters of the American Revolution, Wayside Inn Chapter, had the Town Pound restored in 1939, apparently placing the granite marker near the entrance. In the mid-1950s, the Board of Selectmen revived the office of Pound Keeper as an honorary designation and tribute to the town's agricultural past. Richard C. Hill, the appointed pound-keeper in 1958, pointed the dry-laid walls, and capped them with 10-inch beams fashioned out of trees he cut from his property on Plympton Road. Hill served concurrently as president of the Sudbury Historical Society.

INVENTORY FORM F CONTINUATION SHEET

SUDBURY

CONCORD RD (TOWN POUND)

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.904

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MHC MACRIS database.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

L07-0001

Framingham

SUD.414

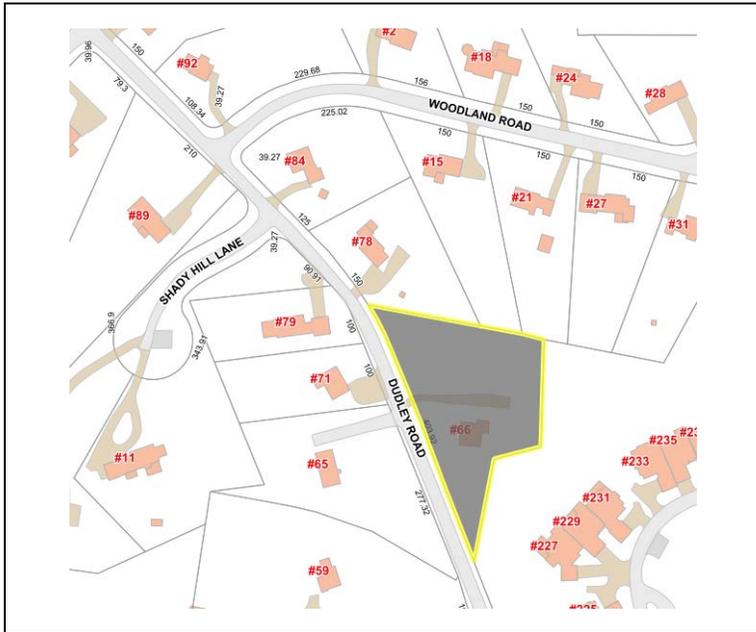
Photograph



Façade (west) and south elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broome, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 66 Dudley Road

Historic Name: Mildred Burbank Hunter House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1911

Source: maps and atlases, deeds

Style/Form: Craftsman/Bungalow

Architect/Builder: not determined

Exterior Material:

Foundation: concrete

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
n/a

Major Alterations (*with dates*):

replacement sash, front porch posts and railing, side deck and steps (late 20th – E 21st C)

Condition: good

Moved: no yes **Date:**

Acreage: 1.25 acres

Setting: Located on a rural road between the main thoroughfares of Boston Post Road (east/west) and Nobscot Road (north/south), in a heterogeneous neighborhood of mainly 20th century residences on large, wooded lots. Generous front setback slopes gently up from the street and is maintained chiefly in lawn.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

66 DUDLEY RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.414

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

66 Dudley Road consists of a rectangular main block with a rear ell, rising 1½ stories to a side gable roof at the main block and 1 story at the ell. The rear ell is co-planar with the main block. Exposed purlin ends are visible at the eaves of the gable ends. A small chimney rises above the rear slope near the center of the ridgeline. Clapboard walls are trimmed with flat corner boards; eave trim is clearly visible only at the front dormer, which has a narrow fascia board. The three-bay façade is recessed under the front slope of the roof, which is supported by modern turned posts and lined with modern railings with square balusters. The single-leaf center entrance, trimmed with band molding, is flanked by a single window on each side. A low, shed-roofed dormer centered on the front roof slope has paired windows. Side elevations are asymmetrically composed, with a single window centered in the half-story on each gable end. The north elevation has a modern, angled bay window towards the front and a single-leaf door towards the back. The south elevation has two widely spaced windows on the main block and a small square-ish window on the rear ell.

Well maintained, 66 Dudley Road is a relatively intact example of modest, early 20th century residential development in Sudbury. Notable design features include the simple massing; recessed, full-length front porch; shed dormer; and largely original fenestration. Replacement of window sash and early components of the front porch detract from the historic integrity of the building.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Mildred Burbank Hunter House is one of the earliest dwellings extant on Dudley Road, known as the Framingham Road in the early 20th century. By the time of its construction about 1911, this section of South Sudbury was well established as a focus for greenhouses, after Hubbard H. Brown built the town's first greenhouse on nearby Nobscot Road in 1879. In the early 20th century, James Tulis grew cucumbers and carnations ("pinks") in three large greenhouses abutting this property. Greenhouse growers operating nearby on the north side of Boston Post Road included W. L. Stone and Son, producing cucumbers, and Homer Rogers, producing cucumbers, tomatoes, and pinks.

This house was built on a portion of the 17 acres Hubbard Brown conveyed to S. Winthrop St. Clair of Cambridge. St. Clair was an architect who built his own house (possibly 30 Adams Road) by 1908 on the hillside west of Dudley Road. He then began dividing the adjacent land for development. Robert D. Hunter acquired this parcel in 1911. The deed does not reference any buildings present, nor is it clear whether St. Clair was involved in the design of this house. Robert Hunter and his wife, Mildred Burbank Hunter, came to Sudbury from Worcester. Hunter was employed in Sudbury as a chauffeur to a private family. They divorced in 1915, and Mildred Hunter remained in this house, with their three children. Her mother, Emma J. Burbank, also resided here in 1920. Mildred Hunter was employed as a restaurant manager (1926), a tea room manager (1930), and town librarian (1935). After her death, her adult children sold the house in 1941.

William S. Pride and his wife, Valeska, resided here from 1941 to 1957, moving from 354 Boston Post Road (see form). William Pride was employed as a manager at the First National Stores (grocery store) on Boston Post Road. Valeska Pride worked for the post office in Sudbury for 35 years until her retirement in 1971. A financial clerk in the twenty-person operation, she subsequently served as acting postmaster at the Union Avenue post office from 1964 to 1966. Business owner Stephen Bankuti and his wife, Virginia, owned this house from 1960, when they moved from Framingham, to 1988.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

66 DUDLEY RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.414
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FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

K03-0003	Framingham	SUD.F	SUD.49, SUD.415
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LHD 03/21/1967

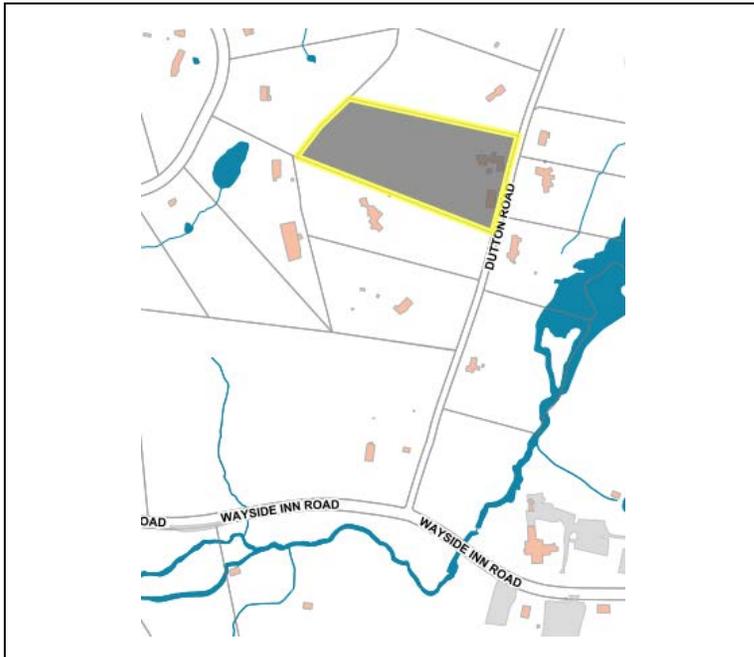
Photograph



South and façade (east) elevations of original house.

Locus Map

↑
north



Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 61 Dutton Road

Historic Name: Samuel and Nancy Parmenter House and Barn

Uses: Present: residential
Original: residential

Date of Construction: ca. 1850s

Source: maps, atlases, and deeds

Style/Form: Greek Revival

Architect/Builder: not determined

Exterior Material:

Foundation: stone and concrete

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures: barn, shed

Major Alterations (*with dates*):
Early side ell removed, multiple side and rear wings added (L 20th – E 21st c).

Condition: good

Moved: no yes **Date:**

Acreage: 5.09 acres

Setting: Rural residential area characterized by large, distantly spaced houses, typically constructed in the L 20th – E 21st c, on large lots. Lot slopes up away from the street, with a generous front setback that is maintained chiefly in lawn. Dry-laid stone walls line most of the sidewalk edge.

Recorded by: W. Frontiero, K. K. Broomer, and S. Spies, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

61 DUTTON RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.F

SUD.49,
SUD.415

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 61 Dutton Road consists of a small original building at the front and an extensive chain of large additions creating a roughly U-shaped footprint today. The original building rises 1½ stories to a front-gabled roof without returns; no chimney is located in this section of the building. Clapboard walls are trimmed with flat corner boards and narrow, flat raking fascia. Windows occur singly and typically have 6/6 sash with band molding. The façade has an offset entrance and two windows on the first floor and two windows symmetrically placed in the half-story. The entrance consists of a single-leaf, 4-panel (possibly historic) door with ¾-height sidelights and band molding. The north and south side elevations each have a 9-light window placed near the top of the high-post walls near the front. The south wall also has two 6/6 windows on the first floor, while the north wall has no additional fenestration. A U-shaped collection of large wings extends to the northwest of the original building, 1 to two stories in height, with gable and hip roofs, mostly clapboard walls, and a variety of modern fenestration. The 1968 survey form shows the original building with a side ell on the south and none of the present additions.

Positioned to the south of the house, relatively near the street, is a large, long, banked New England-style barn (SUD.415). The structure rises 1½ stories to a front gable roof without gable returns. Shingled walls are trimmed with narrow, flat raking fascia. Windows typically have 6/6 sash with flat casings. The façade (north elevation) has a very large, sliding door constructed of diagonal boards, with five panes inset near the top. A 6/6 window is centered in the half-story. The long east elevation has six evenly spaced, 6-light windows set at the first floor level, vertical wood boarding closing up what was probably an open basement level, and a wood-shingled shed roof projecting over the basement in the middle section of the wall. The rear (south) elevation has a 6/6 window centered in the half-story and a much lower, 1½ -story extension that is flush with the east wall of the main volume). The east wall of the extension has another two 6-light windows facing east. Its south elevation features a sliding barn door positioned slightly off-center and a 6/6 window to each side, plus a 6/6 window in its gable peak.

Well maintained, 61 Dutton Road is a modest example of rural residential development associated with Sudbury's agricultural history in the 19th and early 20th centuries. Very tentatively detailed, the dwelling's notable architectural features include the small scale and massing of the original building, offset doorway, and historic fenestration and trim. The original volume has been overwhelmed, however, by the extent of later additions, despite their compatible size, scale, and character. The barn is an outstanding and rare example of agricultural outbuildings in Sudbury, notable for its banked siting, simple massing, intact fenestration and trim, and historic barn doors on both ends.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Samuel O. Parmenter had a farm near or at this location beginning in the 1850s. Samuel O. Parmenter (1820-1901)¹ and his wife, Nancy Delpha Hunt (1830-1906)² had five children. Samuel worked as a farmer and shoemaker; a shoe shop is identified beside the house on the 1856 map. The house remained in the Parmenter family through 1908, as evidenced by historic maps.

The chain of title for this property in the early 20th century is unclear. Henry Ford purchased this land from Mervin R. Parsons as part of his planned Colonial village around the Wayside Inn, although there is no documentation of what buildings might have

¹ Findagrave.com. <https://www.findagrave.com/memorial/117070357/samuel-o-parmenter>. Accessed June 15, 2021.

² Findagrave.com. <https://www.findagrave.com/memorial/117070392/nancy-d-parmenter>. Accessed June 15, 2021.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

61 DUTTON RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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been on the property at the time.³ A 1946 map of the extensive Wayside Inn complex indicates "Lamson's Barn," but no house, at this location.⁴ Lamson's Farm on Dutton Road contained one of the four major barn complexes on the Wayside Inn property.⁵ There are confusing references to a barn but not a house on the property in 1956. It is possible that a barn was moved to this property and re-purposed as the extant house, and/or an earlier house was moved away from the property; moving buildings around on his Wayside Inn property was a common practice for Ford. Further research as well as inspection of the interior of the building and the extant barn are recommended.

World War II had a detrimental effect on Wayside Inn operations, and funds were insufficient to maintain the dozens of buildings and 2,400 acres that comprised the Inn complex. Between 1946 and 1951, the Wayside Inn Trust sold off 2,300 acres of land and buildings.⁶ In 1951, Priscilla Staples purchased 39 acres on Dutton Road,⁷ which included the barn at 61 Dutton Road.⁸ Priscilla Staples (1901-1994)⁹ began working as a hostess at the Wayside Inn in 1925¹⁰ and remained employed there until the late 1950s. The hostesses staffed the front desk, fielding questions from the public, and also led tours for politicians, educators, celebrities, and the general public. The hostesses also maintained the Inn diaries that served to record the daily activities at the inn from 1924-1950. Staples was later promoted to assistant manager¹¹ and curator. In the latter position, she played a significant role in safeguarding artifacts, papers, and records in the immediate aftermath of the 1955 fire that destroyed much of the Wayside Inn, and she oversaw the rebuilding of the Inn.¹² In 1958, Priscilla Staples married Frederick Rixman, resigned from the Wayside Inn, and moved to Belmont, Massachusetts.¹³ Priscilla Staples Rixman owned the barn at 61 Dutton Road until 1969.¹⁴

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³ Middlesex South Registry of Deeds Plan No. 796 of 1951.

⁴ Plumb, p. 106 and Middlesex South Registry of Deeds Plan No. 1953 of 1946.

⁵ Plumb, p. 125.

⁶ Plumb, p. 129.

⁷ Middlesex South Registry of Deeds, Book 7735, p. 193.

⁸ "Note from the Ministers." *The Sudbury Citizen*. Oct. 18, 1956, p. 7.

⁹ <https://www.findagrave.com/memorial/39982031/priscilla-rixmann>. Accessed June 2021.

¹⁰ Garfield, *As Ancient...*, p. 227.

¹¹ Garfield, *As Ancient...*, p. 259.

¹² "Announces Marriage of Miss Priscilla Staples to Mr. Rixman," *Sudbury Citizen*, October 9, 1958, p. 2.

¹³ "Announces Marriage of Miss Priscilla Staples to Mr. Rixman," *Sudbury Citizen*, October 9, 1958, p. 2.

¹⁴ Middlesex South Registry of Deeds, Book 11706, p. 165.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

61 DUTTON RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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SUPPLEMENTARY IMAGES



Façade (east) and north elevations of the original house (L); later additions to the north and west (R).



Barn: East and façade (north) elevations.



Barn: South and east elevations.

FORM A - AREA

Assessor's Sheets USGS Quad Area Letter Form Nos. in Area

see data sheet

Maynard

SUD.S

see data sheet

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

LHD 02/18/1963
NRDIS 07/14/1976

Photograph



Main house: Façade (south) and east elevations.

Town/City: Sudbury

Place (*neighborhood or village*):

Name of Area: Fairbank Farm

Present Use: residential, agricultural

Construction Dates or Period: ca. 1817-1930s

Overall Condition: good

Major Intrusions and Alterations:
replacement windows, side porch, and rear additions on main house

Acreage: approx. one acre (pre-1940 buildings only)

Recorded by: W. Frontiero/K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month/year*): September 2021

↑
north

Locus Map

See continuation sheet.

see continuation sheet

INVENTORY FORM A CONTINUATION SHEET

SUDBURY

FAIRBANK FARM

MASSACHUSETTS HISTORICAL COMMISSION

Area Letter Form Nos.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.S

see data sheet

- Recommended for listing in the National Register of Historic Places.
If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION

Describe architectural, structural and landscape features and evaluate in terms of other areas within the community.

The Fairbank Farm survey area occupies approximately one acre of land on both sides of Old Sudbury Road; it includes only structures built before 1940. Old Sudbury Road curves and ascends from southeast to northwest as it passes through the survey area; the topography also slopes down from northeast to southwest throughout the survey area. The landscape is maintained mostly in lawn and open fields. A fieldstone retaining wall lines the street edge in front of the house at 136 Old Sudbury Road. Between this wall and the house is an inner length of fieldstone wall; the portion in front of the house is framed by granite posts and granite block capstones. A third fieldstone wall runs perpendicular to the street and appears to mark the eastern property boundary.

The survey area includes three main historic buildings: the Tilley Smith - Fairbank House on the north side of the road (136 Old Sudbury Road) and a large Barn and Shed/Agricultural Garage on the south side (135 Old Sudbury Road). The Tilley Smith - Fairbank House (135 Old Sudbury Road, 1817) consists of a rectangular main block with a variety of wings and additions at the side and rear. Five bays long by two bays deep, the Federal-style main block of the house rises 2 stories from a granite foundation to a hip roof. Twin interior chimneys rise near the ends of the house. Its clapboard walls are trimmed with flat sill boards and corner boards and a narrow frieze with bed molding. The façade has a center entrance with a single-leaf door, ¾-height sidelights, paneled pilasters, and a high entablature with prominent cornice molding. Windows are trimmed with band molding. The west elevation contains an open porch and a two-story, hip-roofed projection at the rear, both of which were constructed after 1900. The east elevation has a two-story rear wing with a continuous east wall and significantly lower height; it is two bays long. Small one-story additions project from the back of the main block and the rear wing. A carriage house ell extends eastward from the back of the rear wing; it is four bays long and 1½ stories high with high post walls. Its façade contains a single-leaf door at its western end, a segmentally arched carriage door at its eastern end, and two windows in-between; vertically aligned with these openings are small 6-light windows in the knee-wall of the half-story. Attached to the east end of the carriage house ell is a small, hip-roofed shed, fenestrated with a single-leaf door facing the street and a 4-light window centered on the side. The carriage house ell and its shed were constructed by 1900.

The Fairbank Barn (136 Old Sudbury Road, ca. 1880) is a New England-style banked barn, constructed with a fieldstone foundation, wood clapboard walls, flat corner boards and a high flat frieze, gable returns, and a prominent cupola centered on its ridgeline. Although utilitarian in character, it displays several Greek Revival and Italianate stylistic details. Square in shape, the cupola has paired, round-arched windows on each side and a flared hip roof. Fenestration on the main block includes 6/6 window sash on the façade (northeast) and northwest elevations and large square windows on the southeast elevation. The façade is dominated by a large pair of sliding barn doors with a multi-light transom in the center and paired 6/6 windows centered above. A shed-roofed addition is appended to the eastern side of the facade. Both side elevations have banked basement openings with fieldstone retaining walls marking their approaches. The northwest elevation also has one window towards the front of the building, abutting the frieze board. The southeast elevation contains a pedestrian door with diagonal board siding, flat jambs, and a peaked lintel. Towards the rear of this elevation, set perpendicular to and only inches apart from it, is a small, one-story shed with a gabled and clerestoried roof, vertical board siding, no windows visible from the street, and a single-leaf door on its gable end.

Positioned to the southwest of the Barn, the Fairbank Shed/Agricultural Garage (135 Old Sudbury Road, ca. 1920s) is a long, low rectangular building, rising 1½ stories to a side gabled roof without gable returns. Clapboard walls have utilitarian fenestration consisting of 1/1 sash with flat trim; one opening with 6/6 sash is visible in the half-story of the

INVENTORY FORM A CONTINUATION SHEET

SUDBURY

FAIRBANK FARM

MASSACHUSETTS HISTORICAL COMMISSION

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SUD.S

see data sheet

northwest elevation. The roof eave along the northeast elevation features exposed rafter ends. A small, free-standing, non-descript shed with a vertical-board siding and shed-roof (possibly constructed post-1939) is positioned very close to the southeast end of this elevation.

Well preserved and well maintained, the Fairbank Farm is an exceptional example of an early farmstead in Sudbury. The property as a whole is remarkable for its extensive collection of agriculturally-related buildings (many of which were excluded from the survey area because of their age). Notable features include the area's highly visible location, historic setting, fieldstone walls, unusually large 19th century barn, and the intact design and materials of the wide array of buildings on the site. Further investigation of the Barn and Shed/Agricultural Garage, on both the interior and exterior, is recommended to establish their ages and historic functions more accurately.

HISTORICAL NARRATIVE

Explain historical development of the area. Discuss how this relates to the historical development of the community.

Representing more than two centuries of evolving agricultural use in Sudbury, Fairbank Farm preserves the Tilley Smith – Fairbank House, 136 Old Sudbury Road (SUD.74), and a barn and shed/agricultural garage across the street at 135 Old Sudbury Road. The latter two structures were apparently built after Winthrop H. Fairbank purchased the farm in 1880.¹ Tilley Smith (1779-1858) settled here early in the 19th century with his wife Susannah “Suky” Smith. They had at least two sons, Joseph and George. Local tradition dates the house to 1817, the date painted on a wall in the attic [1967 inventory form]. Interior inspection of the framing and finishes may establish an earlier date. Tilley Smith purchased 6½ acres from John Stone of Sudbury in 1817. That purchase followed his initial acquisition from William Hunt and Ebenezer Plympton in 1806, of 80 acres spanning the county road, as Old Sudbury Road was then known. The latter transaction also included another 12 acres of river meadow. Both the 1806 and 1817 deeds mention buildings. It remains to be determined whether the house predates Tilley Smith's ownership, or he built anew, or perhaps added the east wing, in 1817. Smith acquired additional acreage in Sudbury into the early 1830s.

Born in Sudbury to Jonathan and Ann Smith, Tilley Smith was a prosperous farmer and a leading citizen, serving on the Board of Selectmen and the Board of Assessors. In 1830, the town granted him permission to build a tomb east of the powder house at Mount Pleasant Cemetery [Hudson, 476]. Smith's farm encompassed 140 acres in September 1850, ninety of which were improved, *i.e.* cleared and used for grazing, grass, and tillage. In the year leading up to the census, the farm had produced Indian corn (100 bushels), oats (25 bushels), Irish potatoes (200 bushels), orchard products valued at \$30, butter (300 pounds), cheese (200 pounds), and hay (15 tons). Tilley Smith's estate inventory (1858) showed his real estate holdings included the homestead, then about 100 acres, a place (probably a house) in Wayland, a small place “adjoining the homestead,” two additional meadows totaling 16 acres, and a carriage shed at the meeting house, believed to be the First Parish Church at the town center.

Tilley and Susannah Smith both died in 1858, and their son George Smith (1817-1887) carried on the farm. Under his ownership, orcharding became a major focus. The 1880 agricultural census records Smith's farm with 60 tilled acres, 15 acres of meadow or pasture, and 28 acres of woodlot. He had 500 apple trees planted over ten acres, yielding a year's crop of 250 bushels valued at \$400. Other farm production in the same period included Indian corn (40 bushels from one acre planted), Irish potatoes (100 bushels from one acre planted), and hay (35 tons).

Winthrop H. Fairbank (1857-1922) purchased the farm about 1880 [*Farm and Barn Tour*; LaMond], one of four farmsteads the Fairbank family operated in Sudbury's history. This farm remains in the family. Winthrop Fairbank expanded the business to a dairy farm, maintaining 36 cows here in 1890, when the farm encompassed 70 acres. Buildings included the house, barn, a corn barn, hen house, shed, and hog house. It seems likely Winthrop Fairbank built the existing substantial barn for dairy farm use. Smaller outbuildings present in 1890 are not known to survive, but a shed recorded

¹ Hudson's *History of Sudbury* [1889] and other secondary sources spell Smith's first name as Tilly. Most census and vital records, along with Town Meeting records and Middlesex County deeds, spell the name as Tilley, which is used here.

INVENTORY FORM A CONTINUATION SHEET

SUDBURY

FAIRBANK FARM

MASSACHUSETTS HISTORICAL COMMISSION

Area Letter Form Nos.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.S

see data sheet

on the 1921 and 1942 tax valuations appears to be the one-story shed/agricultural garage directly southwest of the barn. The son of J. Parker Fairbank and Emily Wheeler, Winthrop Fairbank married Ida N. Haynes of Sudbury in 1889 and they had three children. Fairbank served as a Sudbury selectman. In 1900, some farm laborers boarded with the Fairbank family: Cornelius Murphy, an Irish immigrant, and Felix Grocco, a Russian immigrant.

Harvey N. Fairbank (1893-1973), the younger son of Winthrop and Ida, remained on this farm until his death. In 1920, he married Leonora Stiles, a former high school teacher, at the Sudbury Methodist Church, and they had four children. Fairbank ran a farm and dairy operation with Holstein cows until 1938, when the dairy component was modified to eggs and poultry. Harvey Fairbank served on the Board of Selectmen from 1924 to 1940, and again from 1947 to 1961. He chaired the building committee for the new Town Hall, 322 Concord Road (see form), following the loss of the previous building to fire. Fairbank is credited with persuading the town to purchase the Haynes property at Sudbury Center, which included the Rev. Israel Loring Parsonage, 288 Old Sudbury Road (SUD.67), in 1931; the parcel provided sites for Town Hall, Noyes School, ball fields, and parking. He was one of the original commissioners of the Sudbury Water District, serving on the water board for seventeen years. Fairbank served on numerous other boards and committees, among them the Board of Public Welfare, Board of Appeals, Board of Assessors, Earth Removal Board, Noyes School Building Committee, and the Industrial Development Commission. He retired from town office in 1963, having seen Sudbury's population grow from a small farming town of 1,000 to a suburban community of nearly 13,000 during his tenure of volunteer leadership ["Mr. & Mrs. Fairbank"; Fairbank obituary].

After ceasing in the 1960s [LaMond], farming here was revived in the 1990s by the fourth generation of Fairbanks. Plants and produce are sold at a farm stand on the property. The farm stand, greenhouses, and sheds at 135 Sudbury Road, plus the mid-20th century residential garage next to the house at 136 Sudbury Road, have been excluded from this area form due to presumed post-1939 construction dates, per Sudbury Historical Commission requirements. An agricultural preservation restriction (APR) is in effect on two parcels of land totaling 33.89 acres on the south side of the road, with the property address of 135 Old Sudbury Road. The barn and inventoried shed are located on this APR land.

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INVENTORY FORM A CONTINUATION SHEET

SUDBURY

FAIRBANK FARM

MASSACHUSETTS HISTORICAL COMMISSION

Area Letter Form Nos.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.S

see data sheet

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Fairbank Farm Data Sheet

<i>Parcel ID</i>	<i>MHC #</i>	<i>Historic Name</i>	<i>Address</i>	<i>Date</i>	<i>Style/Form</i>
H10-0200	SUD.397	Fairbank Barn	135 Old Sudbury Rd	ca. 1880	Greek Revival/Italianate
	SUD.398	Fairbank Shed/ Agricultural Garage		ca. 1920	Utilitarian
H10-0011	SUD.74	Tilley Smith House – Fairbank House	136 Old Sudbury Rd	1817	Federal

Note: Other buildings and structures on the two farm parcels post-date 1939 and therefore have been excluded from the boundaries of this area.

INVENTORY FORM A CONTINUATION SHEET

SUDBURY

FAIRBANK FARM

MASSACHUSETTS HISTORICAL COMMISSION

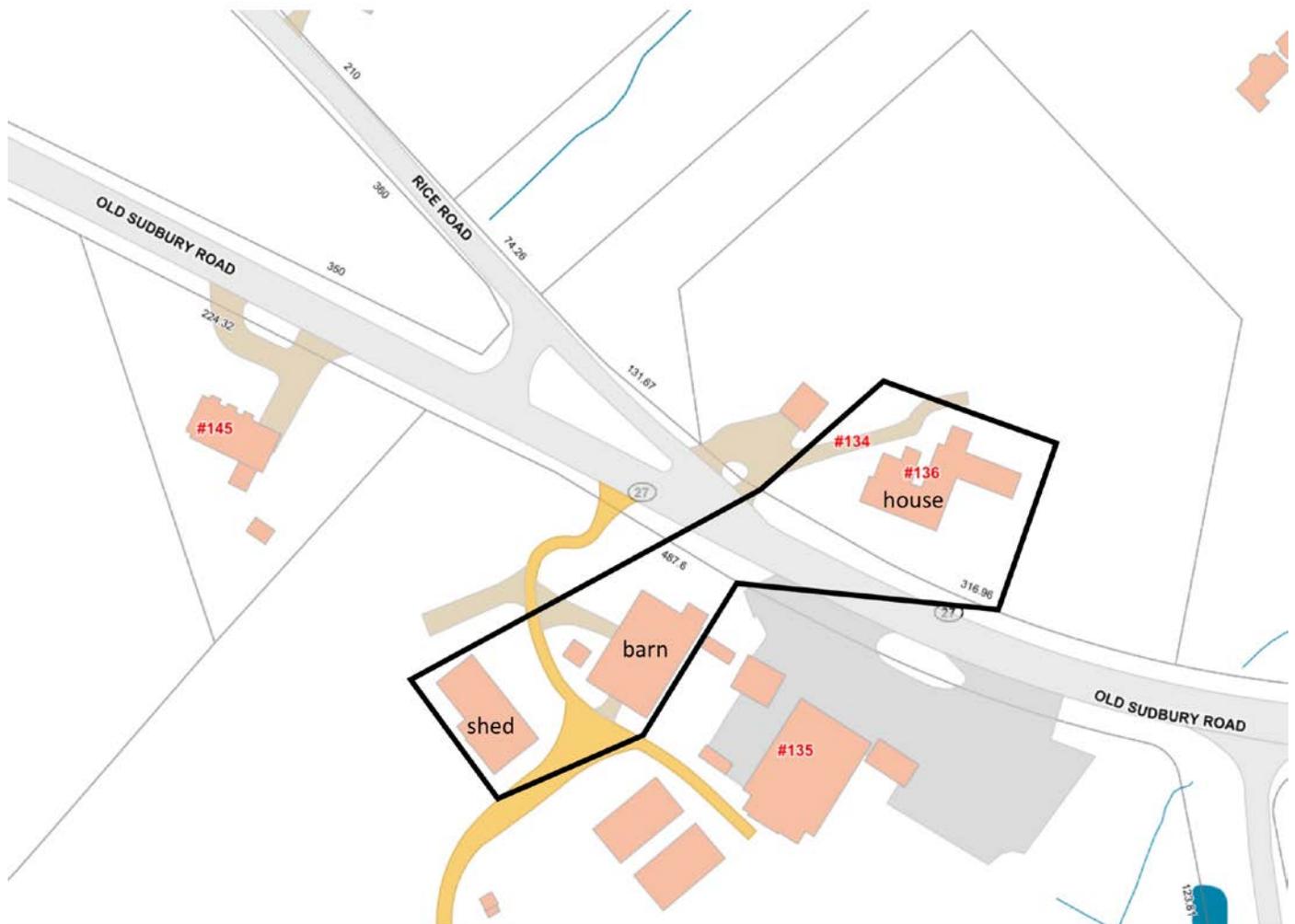
Area Letter Form Nos.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.S see data sheet

LOCUS MAP

↑
north



INVENTORY FORM A CONTINUATION SHEET

SUDBURY

FAIRBANK FARM

MASSACHUSETTS HISTORICAL COMMISSION

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220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.S

see data sheet

SUPPLEMENTARY IMAGES



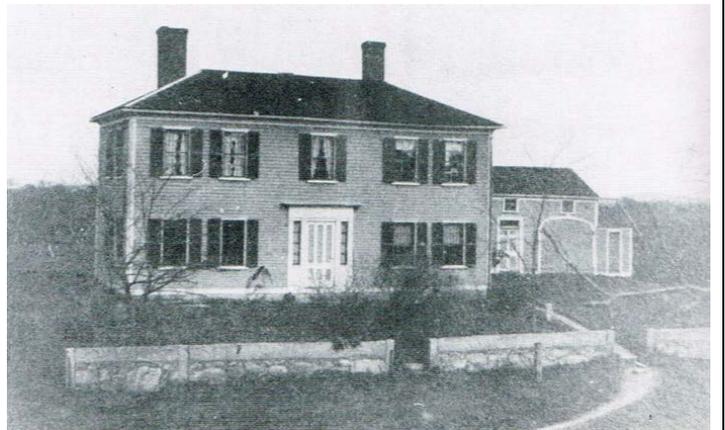
Carriage house wing: South and east elevations.



Barn: Southeast and façade (northeast) elevations.



Shed/Agricultural Garage: Northeast and northwest elevations.



Historic image of main house, ca. 1900. Source: Scott, A *Pictorial History of Sudbury*.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

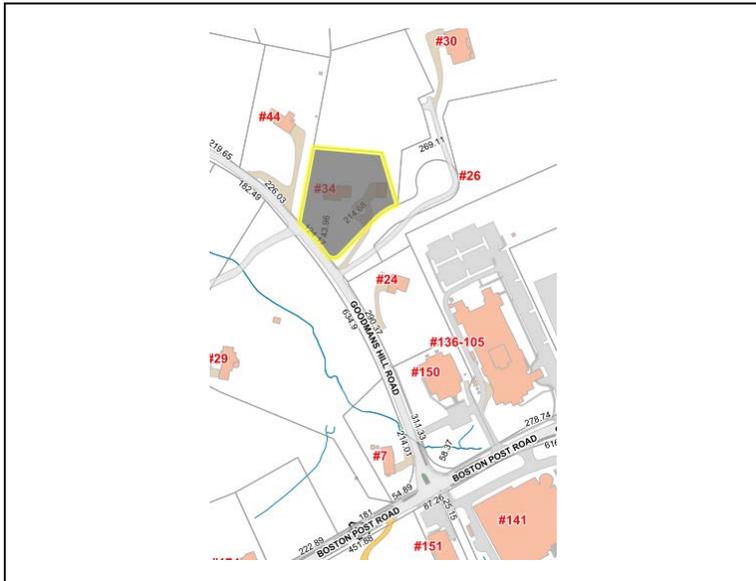
K10-0075	Framingham		SUD.39
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Photograph



West and façade (south) elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 34 Goodmans Hill Road

Historic Name: Haman Hunt House

Uses: Present: residential

Original: residential

Date of Construction: Late 18th century

Source: maps and atlases, visual inspection

Style/Form: Georgian

Architect/Builder: not determined

Exterior Material:

Foundation: concrete

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
garage

Major Alterations (*with dates*):

Greek Revival main entrance surround (mid-19th c) - front porches (20th – E 21st c) - replacement window sash (L 20th – E 21st c)

Condition: excellent

Moved: no yes **Date:** 1960

Acreage: 1.45 acres

Setting: Hillside site on a main north/south thoroughfare, near its intersection with Boston Post Road. Neighborhood is populated with a variety of residential development from the 19th through 20th centuries, infrequently spaced on large lots. House is set well back from the street, facing south. The front and side yards are maintained chiefly in lawn, with a stone wall at the street edge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

34 GOODMAN'S HILL RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.39

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

34 Goodmans Hill Road consists of a large, 2½ story main block with a side-gabled roof and a long, gabled side ell that rises two stories. The roof is articulated with pronounced gable returns on the main block and a chimney at the eastern ends of both the main block and the ell. Clapboard walls are trimmed with flat corner boards and fascia with cornice molding. Regularly arrayed, windows typically occur singly and have 6/6 replacement sash with band molding. The five-bay façade of the main block has a center entrance that was updated with a Greek Revival/Italianate surround. Its single-leaf door is framed by 3/4-height sidelights, sturdy Tuscan pilasters, and a high entablature with curved brackets supporting a projecting cornice. At the back of the west elevation, a small one-story, enclosed sunroom has a hip roof, angled bay window, and single-leaf door facing the front. The unusually long side ell on the east side of the house rises two stories, with a roofline appreciably lower than the main block. One-story, hip-roofed porches line the south and east sides of the first floor, with a deep, screened porch abutting the main block and a narrower, open porch with Tuscan posts along the rest of its façade and east elevation. The first floor of the ell is not clearly visible from the street. It appears to contain a single-leaf door within the screened porch, a single window in the center, and paired windows at its eastern end. The second floor windows generally align with those below; they include single windows in the western and center bays and paired windows on the eastern end. The ca. 1968 inventory form shows a one-story ell with differently configured porches to the east of the main block; further investigation is necessary to determine whether part of that ell is incorporated within the present ell.

Well preserved and well maintained, 34 Goodmans Hill Road is a fine, exceptionally intact example of Colonial period architecture in Sudbury. Notable design features include its commanding siting, large scale, simple massing, historic fenestration with a high proportion of wall to windows, and stylish main entrance update.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

A vestige of the early 19th-century farmsteads that once dotted the landscape along Boston Post Road, the Haman Hunt House was moved to its present site in 1960 to make way for a 24-lane bowling alley on the original site at 136 Boston Post Road. The bowling alley was demolished about 1995 and that property has since been redeveloped. As late as 1942, the Haman Hunt house was the centerpiece of a 140-acre farm on both sides of the Boston Post Road. Aubrey Walter Borden and his wife, Frances, were the principal owners from 1919 to 1960, and the last family to farm the property.

Tentatively dated to the late 18th century, further deed research and inspection of the interior in a future project are required to establish a more definitive date for the house. Haman Hunt is shown as the owner on the 1830 map of Sudbury. This may be Haman Hunt (1763-1837), who married Rachael Goodnow in Sudbury in 1784. She died in 1850. Charles Gerry acquired the Hunt farm by 1856, and in 1859 was assessed for a house and two barns on 114 acres. He was a Sudbury selectman, a proprietor of the Mount Pleasant Cemetery, and master builder of the Acton Powder Mills [Hudson, 443, 582]. Arnold and Lucy Farr and their daughters, Angeline L. Wilson and Novello L. Palmer Coolidge lived here from ca. 1870 to 1919. Farr expanded the farmstead to 140 acres, maintaining 14 cows and eleven heads of cattle in 1870. Ownership of the house was divided with the disposition of Lucy Farr's estate, a common occurrence in the 19th century. Elder daughter Angeline and her husband, Seneca A. Wilson, resided in the westerly half of this house. Their household in 1900 included a male boarder working as a farm laborer, along with a household servant and her young son. Younger daughter Novello Palmer, a former school teacher, resided in the easterly half of the house in 1900 with her son, Mahlon A. Palmer, who was employed as a farm laborer. Novello Palmer later married Charles E. Coolidge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

34 GOODMAN'S HILL RD

MASSACHUSETTS HISTORICAL COMMISSION

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The separately owned two sides of the house were reunited in 1919 when Aubrey Borden purchased the farm with business partner Edward Steacie, Jr. of Framingham, though the house continued to be maintained as a two-family dwelling. In 1920, Edward Steacie, Aubrey Borden, Francis Borden, and Susie Sanderson, employed as the housekeeper, resided in one side of the house. Novello Palmer Coolidge, by then widowed, stayed on in the other half of the house with son Mahlon Palmer, who continued employment as a farm laborer. Edward Steacie sold his interest in the farm to Aubrey Borden in 1927, and the Bordens continued the farming use. They operated a dairy farm here, along with a roadside farm stand in the early 1940s.

Aubrey Borden (1892-1960) contributed to the transformation of this corner of Sudbury from an agricultural settlement to mixed use development. Born in Framingham, he was the son of John Borden of Kentville, Nova Scotia and Gertrude Sanderson. Owner of his Sudbury dairy farm for thirty years, he once held the position of Director of Dairying for the Commonwealth of Massachusetts. He was active in town affairs, serving on the Board of Selectmen for seventeen years, the Finance Committee, and the Sudbury Development Board. In 1956, Borden submitted a Town Meeting article requesting establishment of a new industrial district in the vicinity of Goodmans Hill, Old County, and Boston Post Roads. He successfully petitioned the Board of Appeals to allow construction of the bowling alley on what was then his six-acre house lot, and moved the historic house roughly 800 feet onto other land he owned to the north. Francis White of Oakridge Road and his crew prepared the house for the move. On its new parcel, the house remained in the Borden family as the home of daughter Helen G. Borden (1927-1989). She worked for many years at the Jordan Marsh Company at Shoppers World in Framingham, holding the position of store manager in 1969.

BIBLIOGRAPHY and/or REFERENCES

- 34 Goodmans Hill Road. SUD.39. Undated inventory form prepared by H. Ritchie, Sudbury Historical Society.
Plan of Land in Sudbury, Mass. Owned by Frances Borden (October 6, 1959). Everett M. Brooks Co., civil engineers.
 Middlesex South Registry of Deeds, Plan No. 447 of 1960.
 Sudbury maps: 1795, 1830.
 Middlesex County maps and atlases: 1856, 1875, 1889, 1908.
 Town of Sudbury zoning map: 1938.
 USGS topographical maps: 1943, 1951 (Framingham quadrangle).
 Tax valuations, Town of Sudbury: 1859, 1870, 1890, 1921, 1942.
 Sudbury directories: 1904, 1911, 1913, 1915, 1926, 1930, 1936.
 Resident/voting lists, Town of Sudbury: 1946, 1969.
 Borden, Aubrey. Obituary. *Sudbury Citizen* (May 19, 1960), 1:7.
 -----, Aubrey Walter. *U. S., Social Security Applications and Claims Index, 1936-2007*. Database. www.ancestry.com.
 Accessed May 2021.
 Borden, Helen. Obituary. *Fence Viewer*, Sudbury (August 31, 1989), 6:1.
 "Borden house to be moved. \$350,000 bowling alley O.K.d for Post Road in Sudbury." *Fence Viewer*, Sudbury (September 24, 1959), 1:5.
 Farr, Arthur. Death record, Sudbury (November 26, 1888). *Massachusetts, U. S., Death Records, 1841-1915*. Database and images. www.ancestry.com. Accessed May 2021.
 Hudson, Alfred Sereno. *The History of Sudbury, Massachusetts, 1638-1889*. By the town, 1889.
 Middlesex South Registry of Deeds (*Note these deeds pertain to the original house site, now 136 Boston Post Road*): 3071:22 (1903), 4248:48 (1919), 5113:75 (1927), 5720:249 (1933), 9574:537 (1960).
 "Tribute Paid. Aubrey Borden." *Sudbury Citizen* (May 26, 1960), 1:5.
 U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.
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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

34 GOODMAN HILL RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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SUPPLEMENTARY IMAGES



South elevations.



Driveway approach and south elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

H09-0024	Maynard	SUD.A, J	SUD.199
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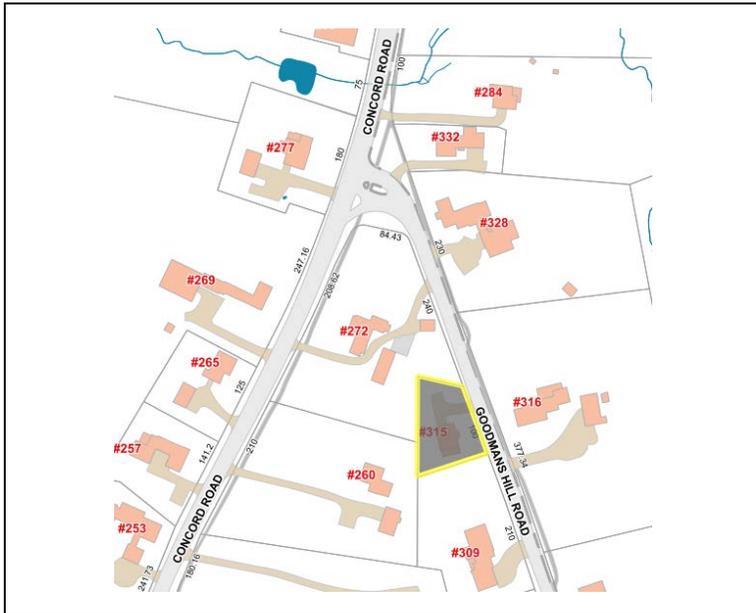
LHD 02/18/1963
NRDIS 07/14/1976

Photograph



South and façade (east) elevations

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
Sudbury Center

Address: 315 Goodmans Hill Road

Historic Name: Anne Buxton House

Uses: Present: residential
Original: residential

Date of Construction: ca. 1937

Source: deeds, census

Style/Form: Colonial Revival

Architect/Builder: not determined

Exterior Material:
Foundation: concrete block
Wall/Trim: clapboard/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures: n/a

Major Alterations (*with dates*):
casement windows on north elevation(L 20th – E 21st c)

Condition: excellent

Moved: no yes **Date:**

Acreage: 0.13 acres

Setting: Located in a well-developed residential corridor with large lots, a short distance south of the town center. The lot slopes down behind the building façade; its moderate front setback is maintained chiefly in lawn. A dry-laid stone wall lines the street edge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

315 GOODMAN'S HILL RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.199

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

Three bays wide by two bays deep, 315 Goodmans Hill Road is a simple rectangular building, rising two stories to a hip roof. A chimney rises from the south slope of the roof. Wood-shingled walls are trimmed with flat corner boards and a flat fascia with bed molding. Windows are typically symmetrically arrayed, vertically aligned, and have 8/8 sash with flat casings. The façade has a center entrance with a single-leaf door and small side windows. It is embellished with a polygonal (five-sided) porch constructed of square posts, a scrolled fascia board, and pitched roof.

Well preserved and well maintained, 315 Goodmans Hill Road is a solid, unassuming example of early 20th century residential development in Sudbury. Notable architectural features include its simple massing; regularity of fenestration; intact window sash, siding, and trim, three-bay façade; and the unusual form and detailing of the front porch.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Anne Buxton House is an uncommon example of residential infill construction at the town center during the Depression era. Anne Buxton acquired two adjacent parcels on Goodmans Hill Road in February and April of 1937 from Joseph Lovering of Maynard, and it appears this house was constructed shortly thereafter. Raised in Waltham, Anne (Halleran) Buxton was employed as a public school teacher before her marriage to William S. Buxton. By 1930, she was divorced and resided on Concord Road in Sudbury with her young son, as well as her sister and their widowed father, Martin L. Halleran. Living with Anne Buxton in this house by 1940 were her 19-year-old son, a 24-year-old nephew, and two lodgers employed as high school teachers, Donald H. Smith and Doris Heald. While Anne Buxton sold this house in 1944, she remained a resident of Sudbury until 1960.

The house had numerous owners and residents from 1944 to 1970. Among those with the longest tenure were Charles F. Field and his wife, Jeanie, from 1953 to 1963, and Donald D. Bishop and his wife, Elizabeth, from 1963 to 1969. Charles Field was employed with the Waltham News Tribune before earning a real estate broker license and joining the Ruth C. Porter Company of Sudbury in 1961. The Bishops moved to Sudbury from Quincy. Donald Bishop was a banker in Boston.

BIBLIOGRAPHY and/or REFERENCES

Town of Sudbury zoning map: 1938.

USGS topographical maps: 1943 (Maynard quadrangle).

Resident/voting lists, Town of Sudbury: 1946, 1969.

U. S. census records: 1910-1940. Database and images. www.ancestry.com. Accessed May 2021.

Boston directories.

Fence Viewer, Sudbury (June 29, 1961), 7:8.

"Sudbury Notes." *Sudbury Citizen* (January 19, 1961), 2:4.

Middlesex South Registry of Deeds: 6099:244 (Feb 12, 1937), 6109:141 (Apr 10, 1937), 6801:199 (1944), 8122:73 (1953), 10321:30 (1963), 11691:142 (1969).

Various references to owners in Sudbury newspapers. <http://sudbury.advantage-preservation.com> Accessed May 2021.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

315 GOODMAN'S HILL RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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SUPPLEMENTARY IMAGES



Façade (east) and north elevations.



Detail of front entrance.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

H09-0068	Maynard	SUD.A, J	SUD.174
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LHD 02/18/1963
NRDIS 07/14/1976

Photograph



West and façade (south) elevations.

Town/City: Sudbury

Place: (*neighborhood or village*):
Sudbury Center

Address: 30 Hudson Road

Historic Name: Leon E. and Jennie Hawes House

Uses: Present: residential
Original: residential

Date of Construction: 1920s

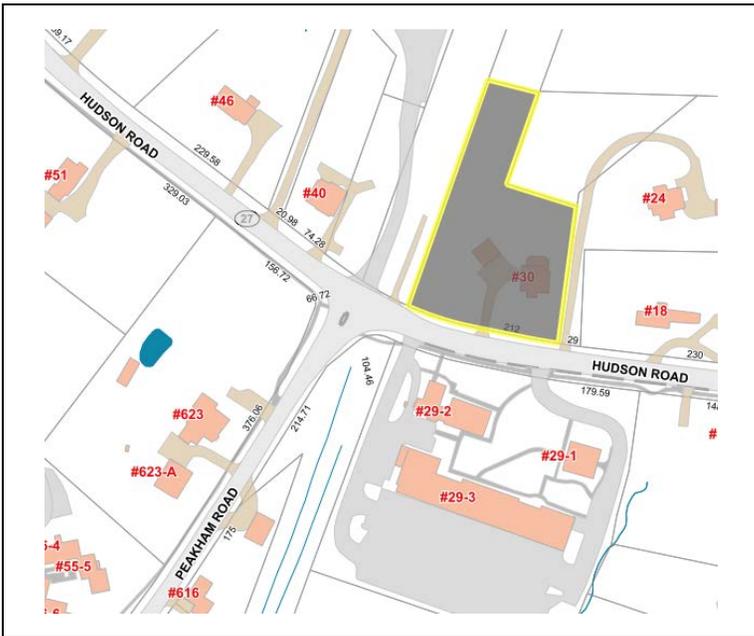
Source: deeds, visual inspection

Style/Form: no style

Architect/Builder: not determined

Locus Map

↑
north



Exterior Material:

Foundation: concrete block

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
garage

Major Alterations (*with dates*):
side extension (possibly an enclosed sunroom), front porch (?), replacement sash and removal of trim (L 20th – E 21st C)

Condition: fair

Moved: no yes **Date:**

Acreage: 1.09 acres

Setting: Located on a main east/west thoroughfare in a mixed-use (residential, civic, commercial) area, close to the historic town center and adjacent to the former Old Colony railroad line. Buildings are spaced far apart on large lots. The property has a generous front setback, which slopes up from the road and is maintained chiefly in lawn.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

30 HUDSON RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.174

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

30 Hudson Road consists of a 2½ story main block with a one-story projection spanning the entire west elevation. The main block has a side-gable roof, no gable returns, and a short chimney rising above the ridgeline near the center point. Clapboarded walls are trimmed with flat cornerboards. Windows typically occur singly and are regularly arrayed. First floor windows have 1/1 replacement sash and no trim; upper floors have 6/6 replacement sash and flat casings. The façade of the main block has three bays, with fenestration loosely grouped in a 1-2 pattern. The offset entrance has a large hip-roofed porch supported on square Tuscan posts; its single-leaf entrance has flat trim. The gable ends each have two widely spaced windows on their exposed first and/or second floors and a window centered in the half-story. The one-story projection on the west elevation (perhaps an enclosed sunporch) has a hip roof; one window facing the street; two widely spaced, modern, angled bay windows facing west; and a pair of double-leaf doors in the fully exposed basement level.

Well maintained, 30 Hudson Road is a modest example of early 20th century residential development in Sudbury. Minimally detailed, the house's notable design features include its simple massing, three-bay façade, and regular fenestration. Alterations to window sash and trim and to fenestration on the side extension detract from the building's historic integrity.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Built in connection with the small commercial crossroads that developed near the railroad station at Sudbury Center, this house apparently was the residence of Leon E. Hawes (1870-1935) and his wife, the former Jennie F. Duvey. They acquired this land in 1928 from their son, Sudbury florist Leon R. Hawes, though it is not clear from deeds whether the house was already present on the lot or subsequently built for the couple. Leon E. Hawes was employed as a freight inspector on Massachusetts railroads for twenty-five years before opening a filling station and grocery in the 1920s in the vicinity of the present 29 Hudson Road. He may have had this house built as a new residence after living on the filling station and grocery parcel. Hawes was active in the Goodman Improvement Society, which undertook beautification efforts at the town center in the 1910s, while Jennie Hawes was a member of the Sudbury Women's Club. Nearby, another son, Arthur Hawes, moved the former railroad passenger station at Sudbury Center to 40 Hudson Road (see form) and converted the building to a residence.

Subsequent owners of this house included Arthur E. Teed, a salesman, and his wife, Mary (from 1943 to 1947); Norman T. Bowes, an associate professor of psychology at Boston University and his wife, Helen (1947 to 1960), a college librarian; and attorney Donald M. Sweeney and his wife, Margaret (1965 to 1972). A 1972 land plan shows the house but not the current detached garage on the property, which was built later.

BIBLIOGRAPHY and/or REFERENCES

Plan of Land in Sudbury, Mass. Owned by George R. Hanow (March 21, 1972, compiled from plans dated March 29, 1951 and August 29, 1945 by E. W. Pettigrew, surveyor). Everett M. Brooks Company, land surveyor. Middlesex South Registry of Deeds, Plan No. 338 of 1972.

Middlesex County maps and atlases: 1889, 1908.

Town of Sudbury zoning map: 1938.

USGS topographical maps: 1943 (Maynard quadrangle).

INVENTORY FORM B CONTINUATION SHEET

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30 HUDSON RD

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Tax valuations, Town of Sudbury: 1921, 1942.

Sudbury directories: 1904, 1911, 1913, 1915, 1926, 1930, 1936.

Resident/voting lists, Town of Sudbury: 1946, 1969.

U. S. census records: 1900-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.

Hawes, Leon E. Find a Grave memorial ID 205474608. Old Town Cemetery, Sudbury. www.findagrave.com. Accessed May 2021.

Middlesex South Registry of Deeds: 5291:513 (1928), 6733:309 (1943), 7143:27 (1947), 9594:53 (1960), 10949:306 (1965), 12280:269 (1972).

"Service for Leon E. Hawes. Was former inspector for railroads in this state." *Sudbury Enterprise* (November 27, 1935), 1:3.

Various mentions of Leon E. and Jennie Hawes, 1910s-1930s. Sudbury Newspaper Archive. <http://sudbury.advantage-preservation.com>. Accessed May 2021.

MHC MACRIS database.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

G09-0001	Maynard	SUD.A, J	SUD.63
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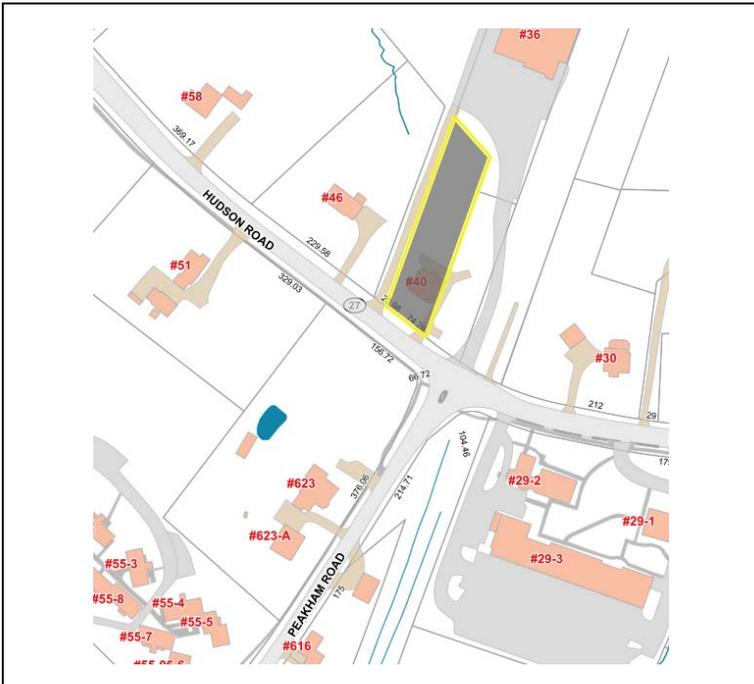
LHD 02/18/1963
NRDIS 07/14/1976

Photograph



Façade (south) and east elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
Sudbury Center

Address: 40 Hudson Road

Historic Name: Old Colony Railroad Station

Uses: Present: residential

Original: railroad station

Date of Construction: ca. 1888

Source: Hudson, *History of Sudbur*

Style/Form: Craftsman

Architect/Builder: see narrative

Exterior Material:

Foundation: cobblestone

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:

n/a

Major Alterations (*with dates*):

adaptive re-use as a house (ca. 1933-1936) – rear porch (mid – L 20th c)

Condition: good

Moved: no yes **Date:** ca. 1933-1936

Acreage: 0.51 acres

Setting: Located on a main east/west thoroughfare in a mixed-use (residential, civic, commercial) area, between the historic town center and a well-trafficked intersection with Maynard Road. Separated by a modern driveway from the former Old Colony railroad line. Nearby buildings are typically spaced far apart on large lots. The house occupies a generally flat lot, with a moderate front setback that is maintained chiefly in lawn. A modern fieldstone wall lines the street edge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

40 HUDSON RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.63

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

40 Hudson Road is a compact rectangular building rising 1½ stories to a hip roof. A stocky chimney rises from the east slope of the roof. A small gabled dormer without gable returns projects above both the east and west slopes; the dormer on the east slope has 6/6 sash. Clapboarded walls are trimmed with flat sillboards, cornerboards, and fascia, the latter with a modest crown molding. Windows typically occur singly, are trimmed with band molding, and appear to have 6/1 replacement sash. The asymmetrical façade has a three-bay porch with square posts and segmentally arched openings having flat trim and a plain keystone. Within the porch are a single-leaf door with band molding, flanked by a window on each side. Two windows are located on the facade to the west of the porch. The symmetrical east and west elevations each have three windows. On the rear of the building, the corner of a shed-roofed porch, extending from the rear slope of the main roof, is visible from the street.

Well preserved from its 1930s reconfiguration and well maintained, 40 Hudson Road is an unassuming but notable example of the Craftsman style and a rare survivor of railroad history in Sudbury. Early 20th century alterations to transform the original railroad station into a residence have become an integral part of the building's character. Notable design features include the building's small scale, simple massing, cobblestone foundation, dominant hip roof with dormer windows, historic fenestration and trim, and arched porch openings.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The oldest railroad passenger station known to survive in Sudbury, this building was associated with the Old Colony Railroad at the time of its construction. The railroad architect has not been determined. A 1916 inventory undertaken by the New York, New Haven & Hartford Railroad, subsequent lessor and operator of the line, noted the station provided 36 seats, an eight-foot settee, separate ticket and telephone counters, and two platforms covering 2,316 square feet combined. Passenger service ended in 1933. In January 1937, Anna M. Hawes of Sudbury, wife of Arthur R. Hawes, acquired a 22,070 square-foot parcel in this approximate location from the railroad companies "together with the improvements thereon." This suggests the station building had already been moved here from its original location on the east side of the tracks, about 200 feet to the northeast, though the building is not shown on the May 1936 land plan accompanying the deed. The former station then became known as the Arthur Hawes bungalow [Hudson, 532; deeds; "Sudbury"]. It appears the Hawes family added to the acreage of the parcel. Also in the 1930s, the associated railroad freight house was moved to 616 Peakham Road (see form).

Sudbury Center had railroad passenger service from 1871 to 1933. Service began October 1, 1871 with the opening of the short-lived Framingham & Lowell Railroad (1871-1872), succeeded by the Boston, Clinton & Fitchburg Railroad (1872-1876), and the Boston, Clinton, Fitchburg & New Bedford Railroad (1876-1879). Before railroads, the only public conveyance through the town center was a horse-drawn stage coach that traveled from South Sudbury, continuing on to the town centers of Wayland and Weston. Mail also traveled over the stage coach route daily [Hudson, 531]. In addition to the town center, the Framingham & Lowell Railroad established passenger stations at North Sudbury and South Sudbury. All three stations were destroyed by fire in 1887 and subsequently rebuilt. By that time, the Old Colony Railroad operated this line as part of its northern extension to Lowell. In the 1880s, the line through the town center was regarded as being "of little practical value to the town" due to the indirectness of its route to Boston and the high ticket prices charged [Hudson, 532]. The Old Colony Railroad retained ownership of the line while leasing the operation to the New York, New Haven & Hartford Railroad from 1893 to 1968. The latter company converted steam-powered passenger trains to gas-electric cars in the 1920s. From 1924 to 1926, postmaster William C. McDonald briefly maintained the Sudbury Center post office in the passenger station, where he also served as postmaster.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

40 HUDSON RD

MASSACHUSETTS HISTORICAL COMMISSION

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SUD.A, J

SUD.63

Subsequent owners of the line included the Penn Central Railroad (1968-1976) and various freight companies. Freight through-traffic continued on this line until at least 1973. The section of road from South Sudbury to West Concord was abandoned in 1982 [Karr, 218-219; Greene].

Arthur R. Hawes was a florist and served as tax collector for the Town of Sudbury. He and wife Anna lived with their family on Hudson Road near Peakham Road in 1930, but apparently moved to Maynard Road by 1940; it is not clear whether they acquired the former passenger station for their own residence or to use as a rental property. The Haweses were a railroad family. Longtime Sudbury resident Leon E. Hawes (1870-1935), father of Arthur Hawes, was employed as a freight inspector on Massachusetts railroads for twenty-five years before opening a filling station and grocery on Hudson Road in the 1920s (see form for 30 Hudson Road). By 1944, Arthur's brothers L. Roy Hawes and Ralph E. Hawes held title to this property, which they conveyed to William and Blanche Little. Burt Mader, Jr. and his wife, Gloria, and family resided here from 1963 to 2001. A commercial artist who built scale models and designed lettering and art displays from his studio in the house, Burt Mader served on the town's Historic Districts Commission, and was captain of the First Foot Company, living history re-enactors with the Sudbury Minute Company.

Sudbury architect Charles H. Way, AIA (1878-1965) reportedly supervised the remodeling of the former passenger station for residential use in 1938 [per 1968 inventory form], though period documentation to corroborate this has not been located. Born in Belmont, he apprenticed in the architecture office of William G. Rantoul, and took two years of night classes at the school of the Boston Architectural Club. He moved to Sudbury in 1909, serving the community in multiple elected and appointed positions: selectman (nine years), organizer and first chairman of the Planning Board (nine years), chairman of the Sudbury Tercentenary Committee (1938-1939), chairman of Civil Defense (during World War II), and Town Clerk Pro-Tem. Charles Way designed Sudbury Town Hall, 322 Concord Road (1930, see form). In 1939 he expanded the former Candy House, 38 Candy Hill Road (SUD.127), for use as his residence. Reportedly one of the first registered architects in Massachusetts, Charles Way was described in census records as a domestic architect, but designed commercial and institutional buildings as well. He also became known for his Colonial restoration work in Sudbury, including two projects at the Wayside Inn, 72 Wayside Inn Road (SUD.4, 1952 and a post-fire restoration in 1955), as well as the First Parish Church, 327 Concord Road (SUD.101, restored in 1960-1961). He maintained an office in Boston until his retirement in 1958.

The former Old Colony and New York, New Haven & Hartford Railroad line is part of the regional Bruce Freeman Rail Trail from Lowell to Framingham, which has opened in stages since 2009. Designs for the Sudbury section, extending from the Sudbury town line with Concord south to the MassCentral Rail Trail at South Sudbury, are in progress; construction may start in 2022.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

40 HUDSON RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.63

Middlesex South Registry of Deeds: 6099:470 (1937), 6827:144 (1944), 10294:429 (1963), 33228:333 (2001).

Note: The 1937 deed conveys in detail the financial circumstances of the Old Colony Railroad and New York, New Haven & Hartford Railroad that led to the sale of railroad real estate.

"Minute Company." *Fence Viewer*, Sudbury (February 2, 1967), 4:4.

"Scale model building permit renewed." *Sudbury Citizen* (April 20, 1972), 9:6.

Selectmen's resolution in memory of Charles Henry Way. Proceedings of the Annual Town Meeting (March 9, 1966). *Annual Town Report*, 1966, p. 36.

"Service for Leon E. Hawes. Was former inspector for railroads in this state." *Sudbury Enterprise* (November 27, 1935), 1:3.

"Sudbury." *Sudbury Enterprise* (September 8, 1937), 1:5.

Way, Charles H. Obituary. *Boston Globe* (1960-1989); July 16, 1965; ProQuest Historical Newspapers: *The Boston Globe*, p. 29.

MHC MACRIS database (SUD.R and 1968 inventory form for 40 Hudson Road).

SUPPLEMENTARY IMAGES



Detail of front entrance.



Historic image of railroad station on original site, ca. 1916.
Source: Interstate Commerce Commission, 1916 Valuation Survey.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

G08-0009	Maynard	SUD.A, J	SUD.173, SUD.416
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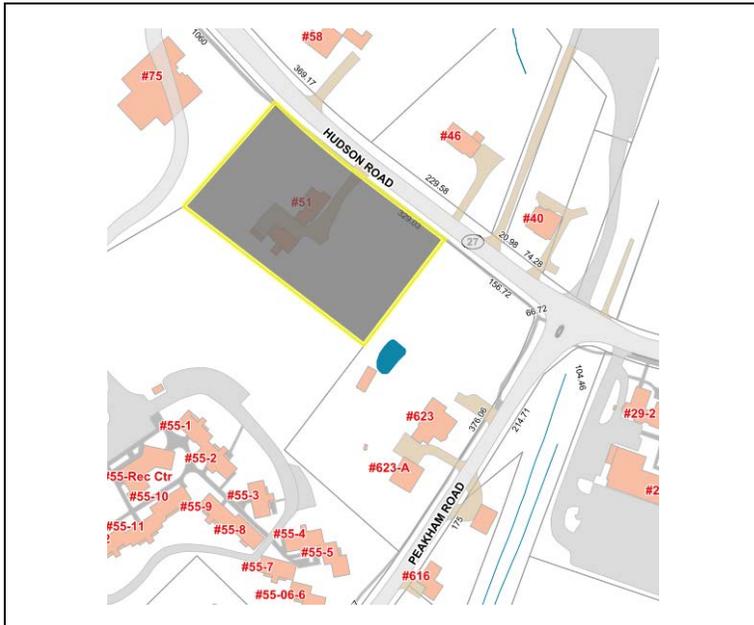
LHD 02/18/1963
NRDIS 07/14/1976

Photograph



East and faade (north) elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
Sudbury Center

Address: 51 Hudson Road

Historic Name: Stiles House and Barn/Garage

Uses: Present: residential
Original: residential

Date of Construction: ca. 1903

Source: deeds

Style/Form: Queen Anne

Architect/Builder: not determined

Exterior Material:
Foundation: stone
Wall/Trim: clapboard/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:
garage/barn (ca. 1920), sheds

Major Alterations (*with dates*):
rear addition (L 20th – E 20th c)

Condition: excellent

Moved: no yes **Date:**

Acreage: 1.62 acres

Setting: Located on a main east/west thoroughfare in a mixed-use (residential, civic, commercial) area, between the historic town center and a well-trafficked intersection with Maynard Road; adjacent to a modern police/fire station complex. Nearby buildings are typically spaced far apart on large lots. The house has a generous front setback on a lot that slopes gently up from the street and is maintained chiefly in lawn. A low stone wall lines the sidewalk edge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

51 HUDSON RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.173,
SUD.416 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

51 Hudson Road comprises a large house with side and rear wings and a moderately sized barn located directly behind. The slightly L-shaped main block of the house rises 2 ½ stories to a front -gabled roof with a shallow gabled wing towards the back of the east side. The roof has slender but pronounced gable returns and two corbelled chimneys, one rising from the ridgeline of the main roof, approximately in the center, and one from the north slope of the side wing. Walls are sheathed with clapboards and trimmed with flat cornerboards and fascia, the latter with a modest bed molding. Windows typically occur singly, are regularly arrayed, and have 2/2 sash with flat casings and a simple crown molding. A two-bay by two-bay porch connects the offset entrance of the main façade with the side wing. It is ornamented with a pedimented, gabled roof; turned balusters; and turned posts with decoratively sawn brackets. On the main façade, the offset entrance has a single-leaf door with flat casing and a simple crown molding. The façade has one window on the first floor, two symmetrically placed windows on the second floor, and one centered in the half-story. The symmetrical west elevation has two windows on each floor. The east wing elevation has one window facing north on each floor, two windows on each floor of the east elevation, and a window centered in the half-story. A one-story, gabled rear ell visible on the east side of the building features a recessed porch adorned with turned posts and sawn brackets similar to the front entry porch. Appended to the rear of this ell is a sympathetically-designed addition that rises 2 ½ stories to a gable roof and faces east. Its façade contains a shed-roofed bay window with 1/1 sash on the first floor, paired 1/1 windows on the second story, and paired triangular windows in the gable peak.

The English-style barn/garage rises 1½ stories above a concrete block foundation to a side-gable roof without gable returns. Clapboard walls are trimmed with flat cornerboards. Windows typically have 2/2 sash with flat casings. The north façade has a large garage door at its eastern end, with a single-leaf door positioned in the middle and a single window to the west. The east elevation has one window positioned toward the rear of the first floor, trimmed with a molded cornice, and a smaller window centered in the gable peak. A one-story, shed-roofed addition spans the west elevation. The addition contains a single leaf door on its façade (north elevation) and four evenly spaced awning windows on its west elevation. A window centered in the gable peak of the main volume has a louver in its lower half and what appears to be a six-light sash above.

Well preserved and well maintained, 51 Hudson Road is a handsome example of early 20th century residential development in Sudbury. Notable architectural features include the relatively large size of the house; the massing of the main house and rear ell; decorative front and side porches; intact fenestration, sash, and cornice trim; ornamental corbelling on the chimneys; and what appears to be a surviving early barn. Further examination of the barn is recommended to determine its age.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Built for Eady P. Stiles about 1903 and remaining in the Stiles family for more than sixty years, this dwelling is associated with activity at the nearby railroad depot on Hudson Road, which provided passenger and freight train service to the community until the 1930s. Eady Parker Stiles (1865-1938) was the station agent at Sudbury Center, likely employed by the New York, New Haven & Hartford Railroad, which then leased the operation of the line from the Old Colony Railroad. He and his wife, Clara, built this house on land purchased in 1903 from Elsie E. Oliver at 623 Peakham Road (see form), in what may have been the first division of land from the Oliver farm. Born at Hopewest Hill, New Brunswick, Canada, Eady Stiles immigrated to the United States in 1889. The Stiles family lived in Bristol, Rhode Island before arriving in Sudbury after 1900. Once the railroad depot closed at Sudbury Center, Stiles and his son, Leonard D. Stiles, operated Stiles Coal & Ice Company in Sudbury. The 1921 valuation notes a barn on this property, which may be the present garage building. The scale of the door opening on the garage

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

51 HUDSON RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.173,
SUD.416

is larger than what is typically seen on residential garages for automobiles in Sudbury, suggesting historic commercial (truck) use in addition to residential use.

About the time of his marriage to Oberline Cadieux in 1924, Leonard David Stiles (1899-1989) acquired this house from his father, and resided here with his family until 1966. He ran Stiles Sand and Gravel Company on Boston Post Road near the Sudbury town line with Wayland, and served on the town's Board of Appeals. The family attended Sudbury United Methodist Church, where Leonard was a member of the choir. William E. Mack and his wife, Judith, were the next residents. William Mack was employed as an importer in 1969.

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Stiles, Eady Parker. Petition for naturalization (1924). *Massachusetts, U. S., State and Federal Naturalization Records, 1798-1950*. Database and images. www.ancestry.com. Accessed May 2021.

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Stiles, Leonard D. Obituary. *Sudbury Town Crier and Fence Viewer* (February 23, 1989), 6:1.

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SUPPLEMENTARY IMAGES



Barn: East and façade (north) elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

G08-0010	Maynard	SUD.A, J	SUD.62
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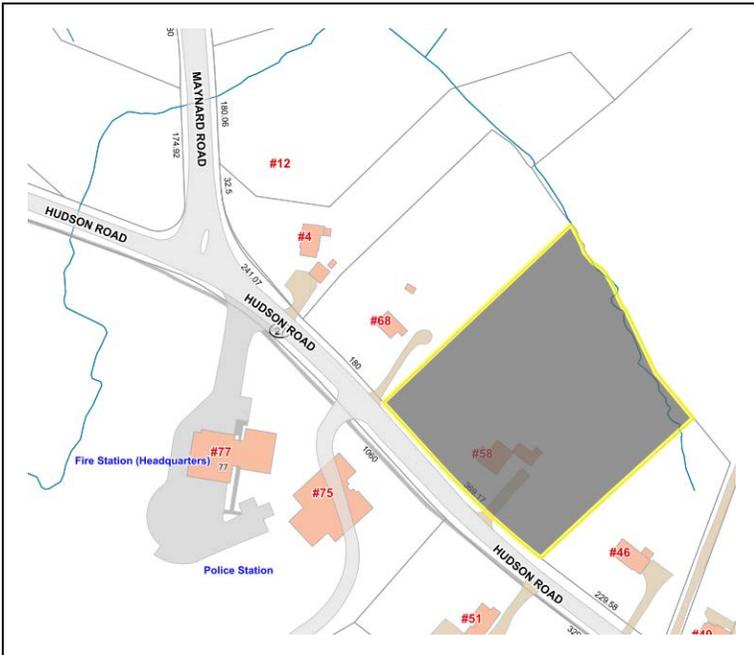
LHD 02/18/1963
NRDIS 07/14/1976

Photograph



Façade (south) and east elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
Sudbury Center

Address: 58 Hudson Road

Historic Name: Reuben and Lucinda Moore House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1821

Source: maps/atlasses, vital records

Style/Form: Federal/Greek Revival

Architect/Builder: not determined

Exterior Material:

Foundation: stone

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
attached garage

Major Alterations (with dates):
n/a

Condition: excellent

Moved: no yes **Date:**

Acreage: 2.79 acres

Setting: Located on a main east/west thoroughfare in a mixed-use (residential, civic, commercial) area, between the historic town center and a well-trafficked intersection with Maynard Road; across the street from a modern police/fire station complex. Nearby buildings are typically spaced far apart on large lots. The house has a generous front setback that slopes gently up from the street and is maintained chiefly in lawn. Trees and shrubs line the street edge, along with a low stone wall at the western end.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

58 HUDSON RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.62

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

58 Hudson Road contains a main block, rear ell, and attached garage. The five by two bay main block rises 2½ stories to a side gable roof with pedimented ends. Two low chimneys rise near the outer ends of the rear slope of the roof. Walls are sheathed with clapboards and trimmed with flat sillboards and corner boards; bed molding and cornices embellish the eaves. Windows typically occur singly, are regularly arrayed, stand proud of the wall surface, and have 6/6 sash with band molding. The center entrance on the façade is framed by ¾-height sidelights, slender pilasters, and a tall entablature with a dentil course. The gable ends each have a single window centered in the half-story. A two-story rear ell is co-planar with the east elevation of the main block. It contains two bays of what appear to be 4/4 sash and a single-leaf door offset towards the rear. Attached to the northeast corner of the ell is a long, three-bay garage with a side-gable roof. It appears to be clad with clapboard and is trimmed with flat cornerboards and bed molding. The irregularly sized and asymmetrical garage bays have segmentally-arched openings with flat trim and plain keystones; three six-light windows with what appears to be flat trim are symmetrically positioned on the façade. The east elevation is not clearly visible from the street.

Well preserved and well maintained, 58 Hudson Road is a handsome example of early 19th century residential development in Sudbury. Notable architectural features include the narrow volume of the main block, the massing of the main block and rear ell, pedimented gable ends, symmetrical fenestration, projecting window frames, and modest but thoughtfully detailed center entrance. The attached garage is typical of early 20th century Colonial Revival construction.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This early 19th-century farmhouse on the western edge of Sudbury's town center appears to have been built for Reuben and Lucinda (Brigham) Moore, who were married in Sudbury in 1821. The 1830 map describes Hudson Road as a post road between Boston and Holden, Massachusetts. Their son, George W. Moore (1827-1862) married Mary Jane Bent and continued the farm through the mid-19th century. The 1860 agricultural census records 15 bushels of rye, 200 bushels of Irish potatoes, and 20 tons of hay produced on George Moore's farm in the previous year. After his early death, the farm stayed in the Moore family. The 1875 atlas suggests Mrs. R[euben] Moore (the widowed Lucinda) then owned the property. Her daughter-in-law and George's widow, Mary Jane, still resided here in 1900, one of two separate households maintained in the house.

Charles E. Haynes and his wife, Lydia, along with their boarder, Edward L. Moore, made up the other household in this dwelling in 1900. At least four farmers by the name of Charles E. Haynes lived in Sudbury in the 19th century; this Charles E. Haynes was born in 1854 to Francis and Adaline Haynes. It is not clear whether this farm was one of two assessed to Charles E. Haynes in 1921, then encompassing a house, barn, store house, carriage house, and shed on 63½ acres. This house lot was reduced to 5.7 acres by 1941 as suburban development continued in Sudbury and agricultural activity declined. Herman Haynes Austin, a nephew of Charles and Lydia Haynes, sold the farm in 1941 to Frederick and Ruth Olson of Belmont. Frederick Olson was a production engineer for a rubber factory, while Ruth was active in the Sudbury Garden Club and served on the board of directors of the Garden Club Federation of Massachusetts. Daniel and Harriet Fox purchased the house, then on nearly three acres, in 1962. Daniel Fox was a mechanical engineer with the Raytheon Company.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

58 HUDSON RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.62

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SUPPLEMENTARY IMAGES



Façade (south) and east elevations of main house, ell, and garage.



Detail of front entrance.

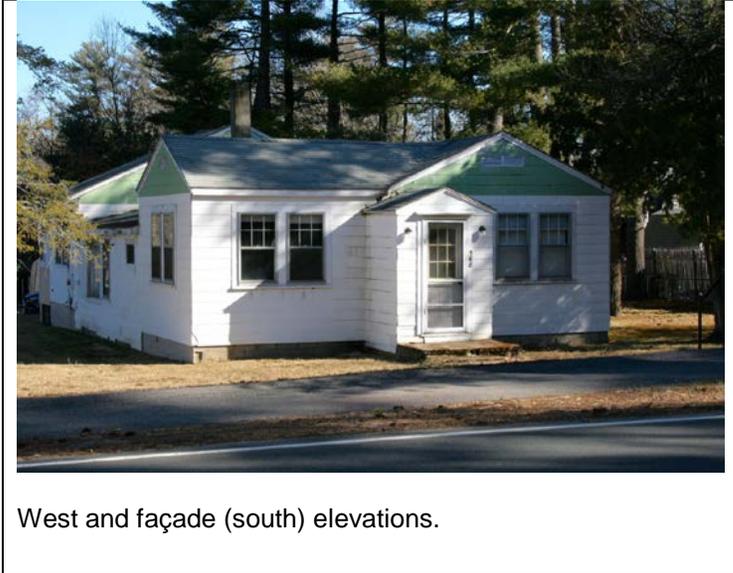
FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

F04-0710	Maynard		SUD.417
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Photograph



Town/City: Sudbury

Place: (*neighborhood or village*):
Pine Lakes

Address: 568 Hudson Road

Historic Name: Cloda F. Walsh Camp

Uses: Present: residential

Original: residential

Date of Construction: ca. 1930-1938

Source: deeds, aerial view

Style/Form: no style

Architect/Builder: not determined

Exterior Material:

Foundation: concrete block

Wall/Trim: asbestos shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:

sheds

Major Alterations (*with dates*):

siding; fenestration on sides and back (L 20th – E 21st c)

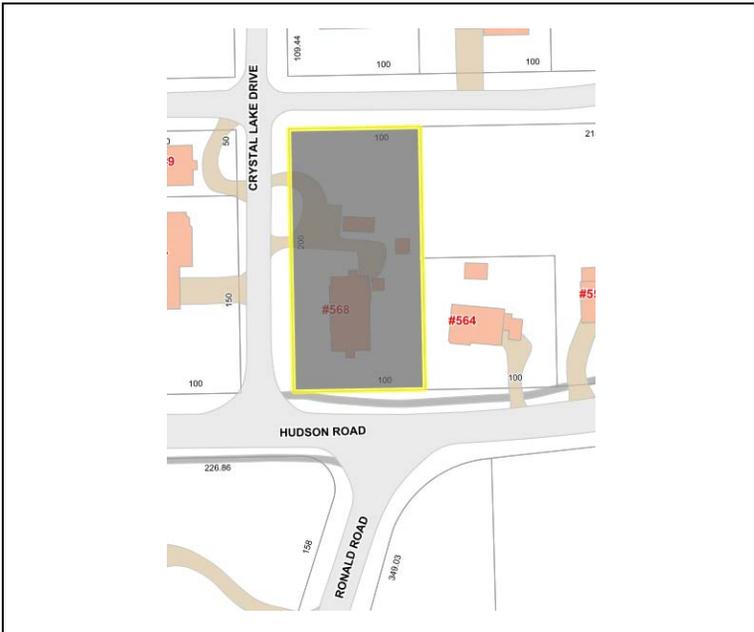
Condition: fair

Moved: no yes **Date:**

Acreage: 0.46 acres

Setting: Located on the corner of a major east/west thoroughfare through Sudbury, surrounded by heterogeneous residential development, mostly from the mid to late 20th c. On the edge of an early 20th c residential subdivision originally developed with small cottages on small lots, most of which have been significantly altered, enlarged, or replaced. Minimal front setback on a lot that slopes gently down from Hudson Street and is maintained chiefly in lawn. A low stone retaining wall runs east/west along the edge of the driveway, behind the house.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

568 HUDSON RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.417

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

568 Hudson Road is a long building with a rectangular floor plan, comprising three distinct volumes with varied heights and orientation, all one story high with pitched roofs. A tall, cement block chimney rises in the middle of the building, at the break between the shed and gable roofs there. The L-shaped main block has an east/west leg facing Hudson Street and a north/south leg at the back. A shed-roofed block occupies the inside corner of the L. The rear volume of the building has a taller gable roof, with a north/south ridgeline; its east slope is continuous with the east slope of the main block. The east and west elevations of the building are continuous, despite the changing rooflines. Walls are typically clad with asbestos shingles, with minimal roof overhangs and no gable returns. Historic windows occur singly and (more typically) in contiguous pairs, with flat casings and 6/1 sash. The façade (south elevation) has a cross gable with paired windows at its eastern end, a small gabled vestibule with a single-leaf door having flat casing in the middle, and paired windows to the west. The east elevation has two sets of paired windows of varied sizes flanking a single window, and a band of three modern casement windows at the rear. The west elevation has paired windows in the gable end of the front block and in the side of the rear block; a picture window, 6/1 window, and horizontal awning window occupy the mid-section. The rear (north) elevation of the building has a small, hip-roof sunroom perched on concrete blocks, presently enclosed with vertical board siding, what appears to be plywood paneling, and a variety of modern windows. A band of three casement windows is located at its eastern end.

Poorly maintained, 568 Hudson Road is a non-descript but uncommon survivor of early 20th century summer cottage development in Sudbury. Most notably, the house appears to retain its original massing and some of its original fenestration and sash. Alterations to siding, fenestration, and the back sunroom significantly compromise the historic integrity of the property.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Until the 1920s, this area of Sudbury west of the town center was sparsely settled. In 1927, John Adams of Medford acquired more than 78 acres of land and woodlot of the north side of Hudson Road near Bottomless Pond (Crystal Lake) and the Great Pond (Willis Pond). Adams, with Eugene B. Hamilton of Somerville and Ervin R. Dix of Arlington, subdivided the land for development as Pine Lakes, a waterside recreation area for seasonal visitors to enjoy hunting, fishing, swimming, and boating. Pine Lakes was one of at least five such subdivisions they marketed in the late 1920s and early 1930s. Others included Silver Lake Pines in Wilmington, Riverview in Tewksbury, Lakewood Pines in Stoughton, and River Pines in Billerica.

The Cloda F. Walsh Camp House illustrates the first phase of development at Pine Lakes, from 1927 through the early 1940s, when seasonal cottages, known as camps, were built alongside bungalows and other small houses. As building lots here were only 2,500 square feet, many original property owners purchased multiple lots: typically two to four lots on which to build initially, then adding adjacent undeveloped lots at a later time to enlarge their property. Cloda F. (Rozon) (Forbes) Walsh of Brookline purchased eight lots here in 1930, assembling a 20,000-square-foot property that extended from Hudson Road to Maplewood Avenue. Employed as a cashier, it appears she was unmarried at the time, with adult children. Deeds do not explicitly reference buildings on this property until 1958, though Cloda Walsh was assessed for a camp house in 1942, and the building is present on an aerial view of Pine Lakes dating to 1938.

After World War II, the neighborhood became increasingly suburban in character, with infill construction and more residents occupying their properties year-round. John H. Bonfilio, a sheet metal worker of Boston, and his wife, Marie Blanche, owned

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

568 HUDSON RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.417

this dwelling from 1948 to 1958. Chester Mackie and his wife, Marion, moved to Sudbury from Marlborough, residing here from 1958 into the 1990s. The 1969 resident list describes Chester Mackie's occupation as a foreman.

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SUPPLEMENTARY IMAGES



Rear (north) and west elevations.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

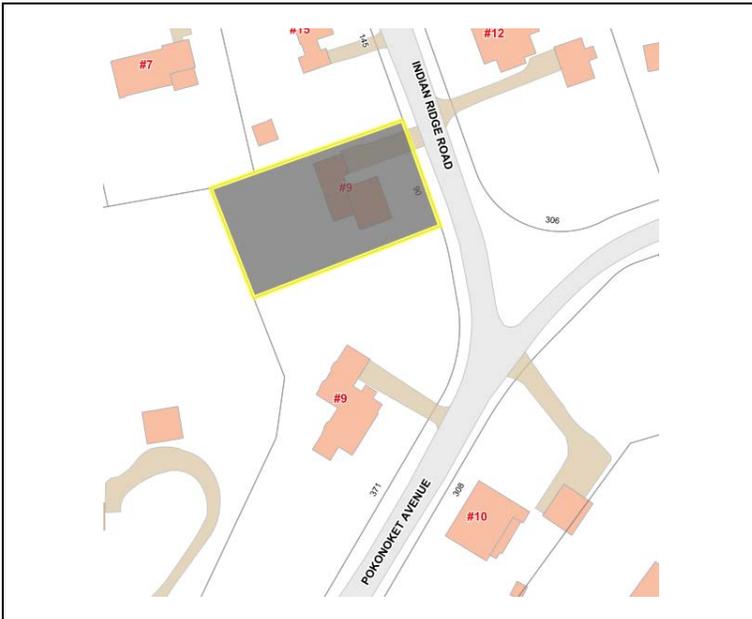
Assessor's Number USGS Quad Area(s) Form Number

K09-0441	Framingham		SUD.418
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Photograph



Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury
Address: 9 Indian Ridge Road
Historic Name: William and Evelyn Downing House
Uses: Present: residential
Original: residential
Date of Construction: ca. 1928-1931
Source: deeds
Style/Form: Colonial Revival
Architect/Builder: not determined
Exterior Material:
Foundation: concrete
Wall/Trim: wood shingle/wood
Roof: asphalt shingle
Outbuildings/Secondary Structures: n/a
Major Alterations (*with dates*):
replacement window sash (L 20th-E 21st c)

Condition: good
Moved: no yes **Date:**
Acreage: 0.25 acres

Setting: Residential subdivision with a variety of 20th century houses regularly spaced on moderately-sized parcels. Street slopes up steeply from south to north. The lot is flat at its northern end, and slopes down away from the house at its southern edge. The moderate front setback is maintained chiefly in lawn, with a post and rail fence at the street edge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

9 INDIAN RIDGE RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.418

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 9 Indian Ridge Road consists of a rectangular main block and an attached garage wing. The main block rises 1½ stories to a side-gable roof; a short chimney rises from the ridgeline, positioned slightly off-center. Clad with wood shingles, walls are trimmed with flat corner boards and a simple dentilated fascia at the main façade. Windows typically occur singly and are trimmed with band molding. They appear to have replacement sash, consisting of 8/8 sash at the first floor and 6/6 sash in the half-story. The three-bay façade has a center entrance with a single-leaf door, half-height sidelights, and band molding. Two hip-roofed dormers are symmetrically positioned on the front slope of the main block, each with a single window and carefully detailed cornice molding. A shed-roofed dormer appears to extend nearly the full width of the back slope of the main roof. The symmetrical, south gable end has two windows on the first floor and one in the half-story. The north gable end has paired windows towards the front and a center window in the half-story. Extending from the northwest corner of the main block is a side-gabled ell with a recessed entrance vestibule adjacent to the main block and a 2-car garage at the northern end. The rear entry has an offset door; the garage has one wide door opening.

Well preserved and well maintained, 9 Indian Ridge Road is a good example of modest, early 20th century residential development in Sudbury. Notable design features include its three-part volume (main block, connector, and attached garage); intact fenestration; main door surround; uncommonly ornamental cornice; and well-detailed dormers.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Illustrating suburban residential construction in Sudbury between the World Wars, this house was built ca. 1928-1931 in the King Philip Heights subdivision, which extended from Pokonoket Avenue on the east to Massasoit Avenue on the west. Until the late 1950s, Indian Ridge Road was known as Wilbert Avenue, named for real estate broker Albert Wilbert Starratt (1876-1923), who had resided at 22 King Philip Road (see form). His brother-in-law, Lawrence B. Tighe, subdivided the former Starratt holdings for development. Deed restrictions often governed the character of development before adoption of a town zoning bylaw, which did not occur in Sudbury until the late 1930s. Here, restrictions called for construction of only a single dwelling house, costing not less the \$5,000. A private garage was to be erected and maintained on the premises, no building was to be placed within 25 feet of a road, and no building constructed on the premises could be used as a "store or public resort."

While the earliest residents of this house have not been determined, the dwelling was present on the lot when Angelo N. Leverone of Sherborn conveyed his holdings in 1931 to the Hudson Co-operative Bank in foreclosure proceedings. Leverone acquired this property and many other building lots in King Philip Heights in 1928. He was employed in 1930 as a road contractor. There is no indication that he moved to Sudbury. Several parties owned this house during the Depression, among them William H. Taunton, a music teacher, and his wife, Edna (in 1931), and William B. Prescott, a traveling salesman of wholesale sportswear, and his wife, Lee (from 1937 to 1944).

William E. Downing, Jr. and his wife, Evelyn purchased the house from Lee Prescott, and the property remained in the Downing family fifty-seven years. A graduate of Lynn Classical High School and the Bentley School of Accounting and Finance, Downing was an insurance and real estate broker, basing his business at his home address. He served as Town Treasurer for more than twenty-eight years, preceded by his tenure as Town Accountant. Evelyn F. Downing was a registered nurse.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

9 INDIAN RIDGE RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	SUD.418
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Resident/voting lists, Town of Sudbury: 1946, 1969.
Sudbury directories: 1904, 1911, 1913, 1915, 1926, 1930, 1936.
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Town of Sudbury zoning map: 1938.
U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.
USGS topographical maps: 1943, 1951 (Framingham quadrangle).

SUPPLEMENTARY IMAGES



Detail of main entrance and roof edge.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

K09-0447	Framingham		SUD.419
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

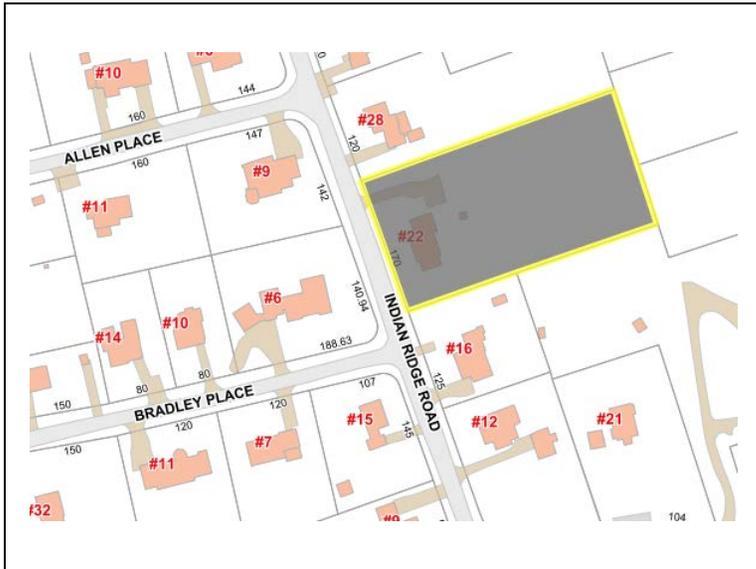
Photograph



Façade (west) and south elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*): South Sudbury
Address: 22 Indian Ridge Road
Historic Name: Herbert and Mary Newton House
Uses: Present: residential
 Original: residential
Date of Construction: 1925
Source: deeds
Style/Form: Colonial Revival
Architect/Builder: not determined
Exterior Material:
 Foundation: stone
 Wall/Trim: wood//wood
 Roof: asphalt shingle
Outbuildings/Secondary Structures: shed

Major Alterations (*with dates*):
 replacement window sash; addition on north side (L 20th – E 21st c)

Condition: fair
Moved: no yes **Date:**
Acreage: 1.14 acres

Setting: Residential subdivision with a variety of 20th century houses regularly spaced on moderately-sized parcels. Street slopes up steeply from south to north. The lot slopes up to the east and north and is lined with stone retaining walls along the street edge and on both sides of the below-grade driveway. The building's moderate front setback is maintained in mulch and lawn.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

22 INDIAN RIDGE RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.419

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 22 Indian Ridge Road consists of a large main block, rising 2½ stories to a side-gabled roof, with a one-story projection on each side. The main block has two interior chimneys at or near the ridgeline; the north addition has an exterior chimney on its gable end. Walls are sheathed with clapboards and trimmed with flat cornerboards and a narrow bed molding at the eave. Windows on the main block typically occur singly, have flat casings and individual crown moldings (except at the second floor of the façade), and contain 6/6 replacement sash. The five-bay façade on the main block has a gabled portico over a vaulted ceiling, supported on Tuscan columns. Its single-leaf door is flanked by half-height sidelights. The south elevation of the main block has two widely-spaced windows on the second floor and one window centered in the half-story. Appended to the first floor of this elevation is a one-story, glass-enclosed sunporch with a flat roof, a single-car garage underneath, and banded pairs of multi-pane, probably casement windows. The north elevation of the main block has one window towards the front of the first and second floors and a window centered in the half-story. The side-gabled addition extending from this elevation has a large, tripartite picture window facing the street and an exterior chimney centered on its north elevation.

Well preserved, 22 Indian Ridge Road is a handsome, unusually well-detailed example of early 20th century suburban housing in Sudbury. Notable design features include its large size and comfortable proportions, five-bay façade with ornamental entrance portico, carefully detailed window cornices, early or original sunporch/garage combination, and stone retaining walls.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Among the earliest dwellings constructed in King Philip Heights, this Colonial Revival house was built in 1925 for Herbert L. Newton and his wife, the former Mary L. Cutter. Born in Wayland and Sudbury, respectively, the couple married in 1906. At the time of their marriage, Mary Cutter was the librarian at Goodnow Library. Herbert Newton was an insurance executive, and treasurer of the Columbian National Life Insurance Company in Boston, from which he retired in 1952. In 1954, he donated land to the Town of Sudbury to create a small park on Concord Road at the entrance to Wadsworth Cemetery (SUD.803). The Newtons had resided nearby before moving to King Philip Heights. A park bench was placed with the inscription: "Memorial Park dedicated to Mary Cutter Newton by her husband Herbert L. Newton / July 5, 1954."

Mary Newton was one of the first individuals to buy land from Sudbury resident Lawrence B. Tighe when he began marketing the King Philip Heights subdivision in 1924. The subdivision covered about thirty acres extending from Pokonoket Avenue and Hillside Place west to Massasoit Avenue. Deed restrictions governed the character of development in the subdivision in the absence of a town zoning bylaw, which was not implemented in Sudbury until the late 1930s. At King Philip Heights, restrictions called for construction of a single dwelling house costing not less the \$5,000. A private garage was to be erected and maintained on the premises, no building was to be placed within 25 feet of a road, and no building could be used as a "store or public resort." The Newton property encompassed all or portions of five building lots from the original 1924 subdivision, totaling about one acre. Indian Ridge Road was originally known as Wilbert Avenue, named for Lawrence Tighe's brother-in-law, real estate broker Albert Wilbert Starratt (1876-1923). Starratt had lived at 22 King Philip Road (see form).

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

22 INDIAN RIDGE RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.419
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Only two other families owned this house in the 20th century. David G. Chase and his wife, Constance, held the title from 1950 to 1964, but it is not clear whether they resided here in the 1950s or on Pennymeadow Road. Chase was chairman of the Planning Board in 1957. Richard L. Wells and his wife, Ruth (Sprague), lived here from 1964 onward. Wells was a mechanical engineer at the Arthur D. Little Company for more than thirty years. He graduated from Stetson High School in Randolph and Northeastern University in Boston. The house remained in the Wells family until 2002.

BIBLIOGRAPHY and/or REFERENCES

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MacDonnell, Arthur. "Afterthoughts." Sudbury Town Crier and Fence Viewer (November 4, 1976), 2:3.
Middlesex County maps and atlases: 1908.
Middlesex South Registry of Deeds: 4850:542 (1925), 7633:401 (1950), 10615:431 (1964), 34977:497 (2002).
Newton, Herbert L. Obituary. Fence Viewer, Sudbury (March 17, 1960), 6:4.
----- Obituary. Sudbury Citizen (March 10, 1960), 3:6.
Newton, Herbert L. and Mary L. Cutter. Marriage record, Sudbury (June 27, 1906). Massachusetts, U. S., Marriage Records, 1840-1915. Database and images. www.ancestry.com. Accessed May 2021.
Resident/voting lists, Town of Sudbury: 1946, 1969.
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Wells, Richard L. Obituary. Sudbury Town Crier (October 25, 2001), 10:5.

SUPPLEMENTARY IMAGES



Main entrance.

	SUD.419
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National Register of Historic Places Criteria Statement Form

Check all that apply:

- Individually eligible Eligible **only** in a historic district
- Contributing to a potential historic district Potential historic district

Criteria: **A** **B** **C** **D**

Criteria Considerations: **A** **B** **C** **D** **E** **F** **G**

Statement of Significance by Wendy Frontiero and Kathleen Kelly Broomer
The criteria that are checked in the above sections must be justified here.

The Herbert and Mary Newton House, 22 Indian Ridge Road, is one of the first houses built in the King Philip Heights subdivision, a large, planned development that exemplifies Sudbury's transformation from an agricultural to a suburban town in the early 20th century. Typical of this period, the house was built for middle-class professionals, and the husband of the original couple who lived here commuted to Boston. Well preserved, the building is a handsome, unusually well-detailed example of its type in Sudbury. The design is notable for its large size and comfortable proportions, five-bay façade with ornamental entrance portico, carefully detailed window cornices, early or original sunporch/garage combination, and stone retaining walls. The skillful design also illustrates the creative possibilities within strict deed restrictions placed on buildings in this subdivision.

Retaining integrity of location, design, setting, materials, workmanship, feeling, and association, 22 Indian Ridge Road is recommended for the National Register with significance at the local level. Information on historic interiors would be required for MHC to confirm this recommendation.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

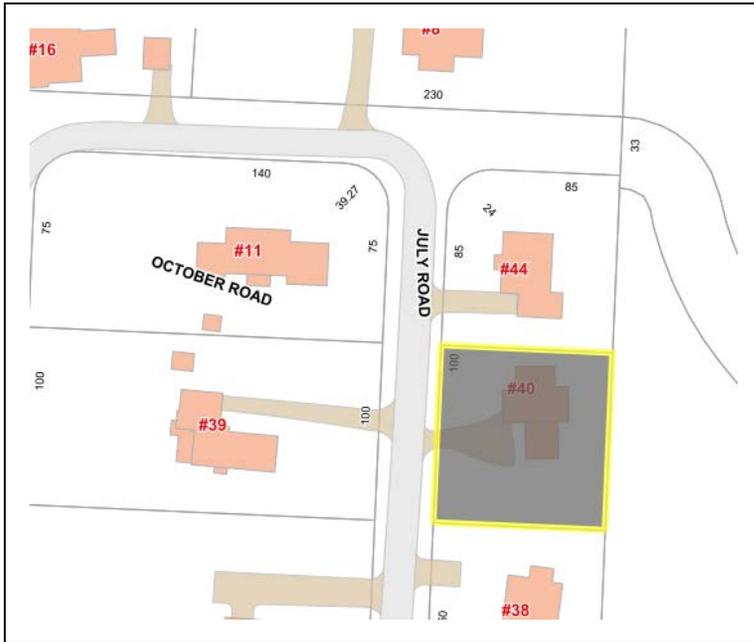
F06-0611	Maynard		SUD.420
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Photograph



Façade (west) and south elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):

Address: 40 July Road

Historic Name: Helen J. Kearney Camp

Uses: Present: residential

Original: residential

Date of Construction: ca. 1927-1934

Source: deeds

Style/Form: no style

Architect/Builder: not determined

Exterior Material:

Foundation: concrete

Wall/Trim: vinyl/vinyl

Roof: asphalt shingle

Outbuildings/Secondary Structures:

n/a

Major Alterations (*with dates*):

south ell?, synthetic siding, replacement window sash, deck
(L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 0.25 acres

Setting: Located on a residential side street off the main east/west thoroughfare of Hudson Road. Well developed, heterogeneous neighborhood characterized by mid to late 20th century suburban houses on lots of varied sizes. The house has a moderate front setback, maintained chiefly in lawn, on a generally flat parcel.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

40 JULY RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.420

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 40 July Road is a one-story high, T-shaped building with intersecting gable roofs. As viewed from the street, the main block is L-shaped, with a small wing attached to the south. One chimney rises from the center of the ridgeline on the front leg of the main block; a second chimney emerges from the valley between the front leg and the south wing. The building is clad with vinyl siding and trim. Windows typically occur singly and have 1/1 replacement sash with vinyl trim. The facade has a cross gable on the southern end with a hip-roofed projection containing an offset, single-leaf door and two windows facing the street, and one window facing the side (south). A single window is centered on the northern end of the facade, while the north gable end has two widely spaced windows. The south wing of the building has a lower ridgeline and is raised above grade by wood posts. Its facade has a single-leaf door flanked by a single window on each side; its south elevation has a blank cutaway corner at the front and paired windows towards the rear. An L-shaped deck wraps around the front and side of the south wing, its railings formed by square-section balusters.

Well maintained, 40 July Road is a non-descript but relatively uncommon survivor of early 20th century summer cottage development in Sudbury. Notable features include the L-shaped massing of its main block, its regular fenestration, and the front projection, which may be an enclosed sunroom or porch. Alterations to siding and to window sash and trim detract from the historic integrity of this property. The south wing, likely an addition, is in keeping with the scale and character of the original building.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house is associated with Holman Pine Rest, a subdivision of year-round cottages and seasonal "camps" laid out in 1927 on the east side of Run Brook. The earliest phase of development continued into the 1930s. Pine Rest encompassed both the July Road-August Road neighborhood, and the neighborhood on the opposite side of Hudson Road, between Allan Avenue and Stuart Street. This section of Sudbury was sparsely settled until the 1920s, when real estate speculators, typically from the Boston area, began developing recreational camps, many in wooded waterside locations that offered access to hunting, fishing, swimming, and boating. Real estate salesman Edwin L. Holman of Somerville and his wife, Lillian, subdivided and sold an appreciable number of building lots in Sudbury from ca. 1926 to 1942. In addition to Pine Rest, Edwin Holman subdivided the Dutton Road neighborhood bounded by Autumn, Pine, and Winter Streets, as well as East, Center, and West Streets off Pratts Mill Road.

An early advertisement for Holman Pine Rest urged buyers: "Have a home or camp in Sudbury; ½ acre. \$50; plenty of room for garden and other things; \$5 down, balance in a year; special plan to keep out hoodlums" [*Boston Globe*, April 28, 1927]. The special plan likely referred to the need to secure camps during the months they were unoccupied. Most houses were built on two or more building lots, as the lots had narrow street frontage, typically 50 feet, that predated the establishment of the town's zoning bylaw. Helen J. Kearney of Boston purchased this camp, built on lots 438 and 439 of the subdivision, from Edwin and Lillian Holman in 1934. She later married Carl Adams and resided in Arlington by 1940, where she was employed as a telephone operator.

It appears this camp may have been winterized for year-round use by Frank H. Wilcomb, who purchased the property in 1940. He was employed as foreman in a dye house when he lived in Somerville, but relocated to Sudbury by 1942, where he resided on Allan Avenue, in another Pine Rest dwelling he owned. Wilcomb may have leased this house at 40 July Road to tenants.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

40 JULY RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.420
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Longtime owners Joseph B. Morris and his wife, Frances L. Morris, lived here from 1958 to 1986. Joseph was employed as a draftsman, and Frances was a teacher in 1969.

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- "Home or camp lot." *Boston Daily Globe* (1923-1927); April 28, 1927; ProQuest Historical Newspapers: *The Boston Globe*, Middlesex County maps and atlases: 1908.
Middlesex South Registry of Deeds: 5812:81 (1934), 6392:280 (1940), 7983:39 (1952), 9261:209 (1958), 16835:576 (1986).
p. 26.
Resident/voting lists, Town of Sudbury: 1946, 1969.
Sudbury directories: 1936.
Tax valuations, Town of Sudbury: 1921, 1942.
Town of Sudbury zoning map: 1938.
U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.
USGS topographical maps: 1943, 1950 (Maynard quadrangle).

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

K09-0102	Framingham	SUD.B, I	SUD.38, SUD.389
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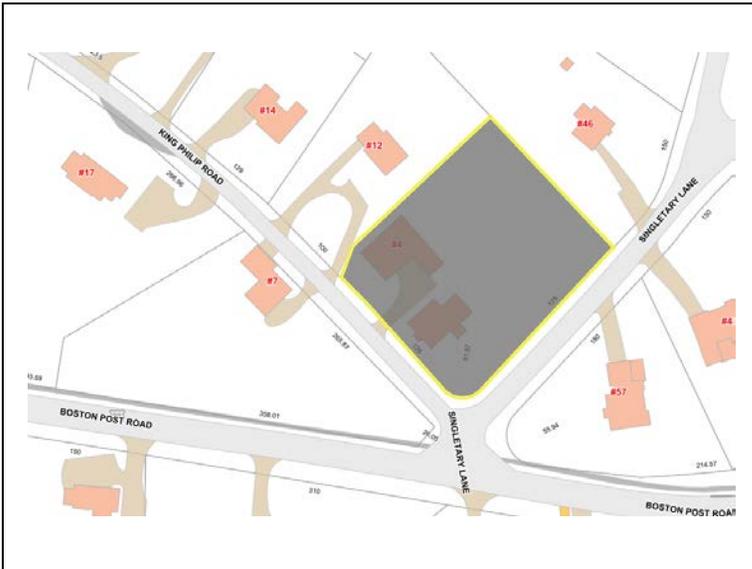
LHD 04/10/1972

Photograph



Façade (south) and east elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 4 King Philip Road

Historic Name: John Goodnow House and Barn

Uses: Present: residential

Original: residential

Date of Construction: 2nd quarter 19th century

Source: maps and atlases,
visual inspection

Style/Form: Federal/Greek Revival

Architect/Builder: not determined

Exterior Material:

Foundation: stone

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
barn (ca. 1880)

Major Alterations (*with dates*):

rear bay and raised roof? (E – M 19th c?) – bracketed window caps on facade (L 19th c?) - side and rear additions and dormers (20th c?)

Condition: good

Moved: no yes **Date:**

Acreage: 0.88 acres

Setting: Located at the eastern end of King Philip Road, near its intersection with Boston Post Road, on a quiet residential street containing a variety of 19th and 20th century development. Large corner lot is flat at the front edge and rises steeply behind the house and barn. The modest front setback is maintained chiefly in lawn and is bordered by a dry-laid stone wall at the street edge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

4 KING PHILIP RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I SUD.38, 389

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The property at 4 King Philip Road consists of a cape-style cottage and a substantial early barn. The main block of the cottage rises 1½ stories from a granite block foundation to a side gable roof without returns. A sturdy chimney rises up in the center of the front slope of the roof. The position and size of the chimney suggest that the original house was one-room deep, and the roof was later raised and extended over an additional set of rooms along the rear. A second chimney rises from the middle of the rear slope of the main roof.

Walls are sheathed with clapboards and trimmed with flat corner boards and a narrow fascia with slender crown molding. Windows typically occur singly and have 6/6 sash and flat casings. Windows on the first floor of the façade have a narrow, rectangular cap with miniature brackets. The five-bay façade of the main block features small, 3/3 windows in the knee wall of the half-story and a hip-roofed entry vestibule. The doorway on the vestibule contains a single-leaf door, ¾-height sidelights, and band molding. The asymmetrical west elevation has three windows across the first and half-stories and a smaller window centered in the gable peak. A shallow, gable-roofed vestibule has been added towards the back of the first floor, and a two-story shed-roofed extension is visible along the back wall of the main block. The similarly asymmetrical east elevation has one typical window and a bank of three smaller, casement windows on the first floor, three windows across the half-story, and one window centered in the gable peak. A one-story gabled addition positioned at the rear of the east elevation has a side gable roof, a door and window facing front (south), and a single window centered on its east wall. The rear slope of the main roof has been extended into a lean-to form. Two shed-roofed dormers and a large shed-roofed screened porch at the first floor have been added to the rear elevation.

Positioned to the west of the house is a 2½ story, New England-style barn that faces east towards the house. Rising from a fieldstone foundation, its walls are sheathed in clapboards and trimmed with flat corner boards and fascia; no gable returns. The façade (east elevation) has a large barn door positioned slightly off-center, a small pedestrian door offset at the northern end of the ground floor, and a 6/6 window with flat trim centered in the gable peak. The south elevation of the barn has three evenly spaced, horizontal, 6-light windows at the ground level, all trimmed with flat casings. The rear (west) elevation of the barn has a barn door, pedestrian door, and gable-peak window similar to the front elevation, plus two small windows set between the barn door and pedestrian door. The rear slope of the roof extends to cover an open storage space along the north elevation of the barn. The lean-to merges with a shed-roofed addition to the northeast of the barn's main block. Also sheathed with clapboards, this addition is open at the ground floor on its south (street) side, and has two 6-light windows in its south-facing half-story.

Well preserved and well maintained, 4 King Philip Road is a striking example of the evolution of a 19th century farmstead, including both house and barn. Notable design features include the simple massing of both the residential and agricultural buildings, and the house's high post stud wall, with its abbreviated half-story windows; intact fenestration and historic window sash; and center entrance vestibule. An uncommon survivor, the barn is remarkable for its size; intact siding, windows, and doors; and for its variety of utilitarian additions.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house is significant for associations with Sudbury's agricultural past and its long ownership through three generations of the Smith-Goodnow family, from the mid-19th century through the mid-20th century. Its early history is unclear and merits more detailed research, possibly to include an inspection of the interior framing, in the future. Estimated construction dates have

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

4 KING PHILIP RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.B, I | SUD.38, 389

ranged from 1729 [Sudbury assessor's database] to 1770 [1968 inventory form]. The 1830 map of Sudbury does not show a building on this site, which could suggest an earlier dwelling was moved here in the mid-19th century. The 1856 county map records the owner of this house as G. H. Smith. A Sudbury native and farmer, Gardner Hunt Smith (1815-1896) married Susan[na] S. Parmenter in Sudbury in 1840. While Smith did acquire the homestead farm of his deceased father-in-law, Jesse Parmenter, in 1849, it does not appear to be associated with this house; the deed describes the Parmenter homestead as located in the westerly part of Sudbury [Middlesex deeds 556:468]. Gardner Smith was employed as a teamster by 1880. He and wife Susan shared the house with their daughter Mary, her husband Frank W. Goodnow, and their infant daughter Florence. Mary Goodnow was employed as a music teacher, while her husband was a "crimping counter" in an undetermined industry. After Mary Goodnow's death from consumption in 1881, it appears her husband and daughter remained here with the Smiths.

In 1890, Gardner Smith was assessed for a house, barn, shed, hen houses, and home land of 15½ acres. The barn is not shown on the 1875 atlas as barns are on neighboring properties, suggesting a construction date for the present barn of about 1880. In the last quarter of the 19th century, this property was known as Green Hill Farm, named for high ground to the northeast. When Frank Goodnow acquired title from his father-in-law, he built two greenhouses covering 2,000 square feet northwest of the barn, on the site of a later dwelling at 12 King Philip Road. The greenhouse business was a major industry in Sudbury from the 1880s through the turn of the 20th century. The town recorded at least 80 greenhouses in place in 1900, from ancillary structures on farms to large-scale commercial greenhouses covering up to two acres of land area. Vegetables, especially cucumbers and lettuce, and flowers, especially carnations and violets, were the chief products of Sudbury greenhouses, shipping to surrounding towns and later markets in Boston and New York [Hudson, 492; "Greenhouses"].

Franklin Wheeler Goodnow (1853-1941) remarried in 1891, to Hattie L. Smith (1861-1943). She was born in Sudbury and worked as a schoolteacher in Newton. Skilled at photography, she recorded friends and scenery in Sudbury and Newton. Her photographs have been exhibited in Sudbury and her collection of glass plate negatives, discovered in the house after her death, were donated to the Sudbury Historical Society. Frank Goodnow served on the Board of Selectmen, while Hattie was active on the Temperance and Visiting Committee of the Methodist Church. Boarding with the Goodnow family in 1910, per the U. S. census, was 21-year-old Shirley F. Smith, an electrician for the electric light company. This house is reported to be one of the first in Sudbury to be wired for electricity. The Goodnows also had a telephone installed in the 1930s.

Rapid development after World War II transformed the character of the surrounding landscape. The small farm remained in the Goodnow family until the death of Frank and Hattie's youngest child, John F. Goodnow, in 1952. He apparently took over the insurance business started by his father in the 1930s. Donald W. Neelon of Wayland and his wife, Constance, subdivided this farm in 1953, creating house lots on Boston Post Road, Singletary Lane, and Winsor Road (as far as 25 Winsor), and yielding the present parcel for this house. Dr. Edwin Burr Pettet, owner of this house from 1958 to 1968, was the chairman of the Department of Theater Arts at Brandeis University. In addition to founding the New England Repertory Theatre in Boston and the Provincetown Playhouse on Cape Cod, Dr. Pettet was known for his work in educational television and served as drama critic for a Boston television station. He was one of four residents on the street to petition the Board of Selectmen to create the local historic district on King Philip Road, established in 1972 and expanded to its current size in 2005.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

4 KING PHILIP RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I	SUD.38, 389
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SUPPLEMENTARY IMAGES



Barn: South and façade (east) elevations.



Barn: East and north elevations.

National Register of Historic Places Criteria Statement Form

Check all that apply:

- Individually eligible Eligible **only** in a historic district
- Contributing to a potential historic district Potential historic district

Criteria: **A** **B** **C** **D**

Criteria Considerations: **A** **B** **C** **D** **E** **F** **G**

Statement of Significance by Wendy Frontiero and Kathleen Kelly Broomer
The criteria that are checked in the above sections must be justified here.

The John Goodnow House and Barn, 4 King Philip Road, are significant for their associations with Sudbury’s agricultural past and its long ownership through three generations of the Smith-Goodnow family, from the mid-19th century through the mid-20th century. Known as Green Hill Farm in the late 19th century, land formerly associated with this house and barn was also occupied by two large greenhouses, an important segment of Sudbury’s economy from the 1880s through the turn of the 20th century. In addition to its farming history, the dwelling was home to Hattie L. Smith, a prominent local photographer. The property also illustrates the transformation of Sudbury from an agricultural to a suburban town. The farmstead was subdivided in the 1950s for smaller house lots on three separate streets. The present parcel left commercial agricultural production and was owned and occupied by Dr. Edwin Pettet, head of the theater department at Brandeis University, drama critic, and founder of theaters in Boston and Provincetown.

Well preserved and well maintained, 4 King Philip Road is a striking example of the evolution of a 19th century farmstead, including both house and barn. Notable design features include the simple massing of both the residential and agricultural buildings, and the house’s high post stud wall, with its abbreviated half-story windows; intact fenestration and historic window sash; and center entrance vestibule. An uncommon survivor, the New England style barn is remarkable for its size; intact siding, windows, and doors; and for its variety of utilitarian additions.

Retaining integrity of location, design, setting, materials, workmanship, feeling, and association, 4 King Philip Road is recommended for the National Register with significance at the local level. Information on historic interiors would be required for MHC to confirm this recommendation.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

K09-0039	Framingham	SUD.B, I	SUD.37
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LHD 04/10/1972

Photograph



Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*): South Sudbury
Address: 22 King Philip Road
Historic Name: Richardson-Morse House
Uses: Present: residential
Original: residential
Date of Construction: 1840s
Source: maps and atlases, visual inspection
Style/Form: Greek Revival
Architect/Builder: not determined
Exterior Material:
Foundation: stone, brick
Wall/Trim: clapboard/wood
Roof: asphalt shingle
Outbuildings/Secondary Structures: garage (no outbuildings visible from the street)

Major Alterations (*with dates*): exterior chimney (20th c)

Condition: excellent

Moved: no yes **Date:**

Acreage: 1.07 acres

Setting: Located on a quiet residential street containing a variety of 19th and 20th century development. The large lot slopes up gently from the street, and the house is set on a low berm. The generous front setback and side yards are maintained chiefly in lawn; a modern stone wall and mature street trees line the street edge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

22 KING PHILIP RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I SUD.37

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 22 King Philip Road consists of a large main block with side and rear ells. The main block rises 2½ stories above a formal landscape berm to a front-gabled and pedimented roof. The only visible chimney rises up the exterior of the northwest elevation of the main block. Walls are sheathed with clapboards and trimmed with sill boards, corner pilasters on the facades, a high molded entablature on the main block, and molded fascia boards at the side and rear ells. Windows typically occur singly, are regularly arrayed, and have 6/6 sash with flat casings and a projecting lintel cap. The three-bay façade (southwest elevation) has a recessed, offset entrance and a single window in the tympanum. Its single-leaf door is framed by ¾-height sidelights and sturdy Tuscan pilasters supporting a high, molded entablature. A side porch connecting the main block and side ell has a shed roof with a pedimented end, tapered post with recessed panels, and a high, flat fascia. The 1½ story ell has an offset entrance underneath the porch, facing the street, and pilasters framing its outer corners. The entrance features a single-leaf door trimmed with flat casing. The ell's façade (southwest elevation) also displays two bays of vertically aligned windows; small windows in the knee wall of the half-story have 3/3 sash. The ell's symmetrical gable end (southeast elevation) has two window bays on the first floor and one window centered in the half-story. Flush with the gable end of the side ell, the rear ell is 1 story high with a gable roof, plain sill board and fascia, one 6/6 window towards the front, and two 3/3 windows towards the back. No outbuildings are visible from the street.

Well preserved and well maintained, 22 King Philip Road is a distinguished example of Greek Revival-style architecture in Sudbury. Notable design features include the landscape berm base; the stately pilasters, entablature, and pediment of the main block; a well-detailed, recessed front entry; stylish side ell, with an unusual, confidently detailed porch; and historic fenestration, sash, and lintel caps.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

An important survivor of mid-19th century development in South Sudbury, this house was likely built by a member of the Richardson family. Richardsons living in South Sudbury in the 19th century were descendants of Josiah Richardson, Jr. His father, Major Josiah Richardson, lived on the Israel Howe Brown place, which once encompassed the farm acreage later associated with this house and the Gideon Richardson House, 38 King Philip Road (SUD.36). These houses were known in the late 19th century as the Newton place and the Hiram Goodnow farms, respectively [Hudson, 449, 487]. Further deed research would be needed to help establish which Richardson built this house, which is labeled "J. Richardson" on the 1856 county map. The 1859 tax valuation identifies a Josiah Richardson as owner of a house and land in Sudbury. This could be Gideon's third son, Josiah Richardson (1786-1861), who married Nancy Brown of Sudbury in 1808. The architectural design of this Greek Revival-style house makes it more likely, however, that the next generation of Richardsons constructed the building.

Subsequent owners in the 19th century preserved the farm associated with the house. Richard Dana Morse owned the house by 1870, when he was assessed for a house, barn, shed, and 50 acres. Local tradition holds that the barn (ca. 1858-1875) associated with this house is the same building later moved to 320-324 Boston Post Road (see form). Morse was a Vermont native who evidently relocated to the Boston area by the mid-1850s, settling first in Newton, where he married Helen Hutchins, before moving to South Sudbury. Employed as a bookseller at the time of their marriage, Richard Morse became a farmer in Sudbury. One year of production on Morse's 50-acre farm in 1880 yielded milk (400 gallons), cheese (100 pounds), eggs (100 dozen), Irish potatoes (125 bushels grown on two acres), apples (15 bushels from 75 apple trees on one acre), and produce.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

22 KING PHILIP RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I	SUD.37
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He sold the farm in 1884 to Charlotte Newton of Wayland, a widow who died in Sudbury in 1897. Her oldest son, Henry L. Newton, and his wife Ellen, continued the farm, which still encompassed 50 acres per the 1890 tax valuation.

The twentieth century brought significant changes to the farm as the agricultural use was abandoned and the former farmland subdivided. By the time Henry Newton sold the property in 1906 to Abbott S. Rogers, a retired Boston shoe manufacturer, the farm had been reduced to 30 acres. During this period, the road previously known in 19th-century deeds as the old Worcester Road and in Sudbury directories as Bow Road was renamed King Philip Road. Rogers and his wife, Elizabeth, returned to Boston about 1918. Real estate broker Albert Wilbert Starratt (1876-1923) and his wife, the former Edith M. Tighe, were the next owners and occupants. They resided here in 1920 with Edith's 22-year-old brother, Lawrence B. Tighe, who was employed as a farmer. After her husband's death, Edith Starratt and Lawrence Tighe began subdividing the property to create the King Philip Heights neighborhood on the western and southern slopes of Green Hill. The former Morse Barn is believed to have been moved about this time to its present location on Boston Post Road. Further subdivision occurred through the 1950s, creating the present house lot. Claude M. Cane and his wife, Elizabeth, owned this property from 1958 to 1977. He was a realtor and manager of Strout Realty, Inc., which operated from this address in the early 1970s.

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FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

K09-0046	Framingham	SUD.B, I	SUD.262
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LHD 04/10/1972

Photograph



Façade (northeast) and northwest elevations.

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 29 King Philip Road

Historic Name: Robert C. Woodberry House

Uses: Present: residential
Original: residential

Date of Construction: 1928-1929

Source: deeds, directories

Style/Form: Colonial Revival

Architect/Builder: see narrative

Exterior Material:

Foundation: concrete

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Locus Map



Outbuildings/Secondary Structures:
n/a

Major Alterations (*with dates*):
n/a

Condition: excellent

Moved: no yes **Date:**

Acreage: 0.63 acres

Setting: Located on a quiet residential street containing a variety of 19th and 20th century development. The large lot slopes down gently from the street, although the house is set on a level grade. The generous front setback and side yards are maintained chiefly in lawn and shrubbery, with a paved driveway along the side and front of the house.

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

29 KING PHILIP RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I

SUD.262

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 29 King Philip Road is a compact cottage rising 1½ stories to a front gambrel roof. One chimney is located near the ridgeline in the center portion of the block. Broad, shed-roofed projections are slightly recessed on both sides of the façade's gambrel end. Walls are sheathed with clapboards and trimmed with narrow, flat corner boards and modest crown molding at the raking fascia. Visible windows include three individual windows with multi-pane sash, asymmetrically placed on the northwest elevation, and a bank of four tall, multi-pane windows with six-light transoms that are centered in the half-story of the façade's gambrel end. The main entrance is offset in the shed-roofed extension to the west of the main gambrel roof. It features a recessed, single-leaf door with a modest classical surround having fluted pilasters and triglyphs on the entablature. The eastern end of the façade appears to be a shed-roofed volume balancing the west side of the building; it is actually a free-standing wall in which is centered a large, diamond-shaped opening. Behind this wing wall, the rear of the east elevation is not clearly visible from the street.

Well preserved and well maintained, 29 King Philip Road is a strikingly idiosyncratic example of early 20th century residential development in Sudbury. Notable design features include the prominent gambrel roof volume, amplified by significant side projections (one of which is functional, the other purely aesthetic); the large-scale fenestration of the front gambrel end; and the free, Colonial-inspired front entrance.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

A distinctive example of domestic architecture in Sudbury in the 1920s, this house was built for, and possibly designed by, artist Robert C. Woodberry. The oversized north-facing window in the facade gambrel provides the indirect light desired by artists in their studios. Woodberry resided here from 1929 to 1956, and shared the house with his sister, former missionary worker Miriam L. Woodberry, in the years immediately before her death in 1949.

Landscape painter, illustrator, and teacher Robert Crosby Woodberry (1874-1961) was born in Centerville (Barnstable) and raised in Somerville, where he resided with his parents until at least 1908. He graduated from the Massachusetts Normal Art School in Boston, studying with Edward W. D. Hamilton, and went on to study at the Académie Julian in Paris with Jean-Paul Laurens in 1897. Woodberry exhibited his art at the Paris Salon in 1898 and 1899. He taught at Wentworth Institute in Boston (ca. 1918) and in the 1920s served as headmaster and teacher at the Morristown School for Boys in New Jersey. About 1916, his sister Miriam had moved to Sudbury with their parents, Nicholas and Alice Woodberry, building the Craftsman-style cottage at 25 King Philip Road (SUD.261). In 1928, she divided that property, creating a new lot upon which Robert built this house for use as his residence. The siblings resided here together by 1940, while Miriam rented her house to Philip H. Palmer and his wife, Dorothy Bailey Palmer. Holding title to both houses after his sister's death, Robert Woodberry then sold this house to the Palmers in 1956, and his sister's house to another party. Philip Palmer played the French horn in the New England Conservatory of Music orchestra. This house remained in the Palmer family until 1992. An architect purchased the house and undertook renovations in the early 1990s that preserve its historic character.

BIBLIOGRAPHY and/or REFERENCES

25 King Philip Road (SUD.261). Inventory form prepared by Gretchen Schuler for Sudbury Historical Commission. Nov. 2010.

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

29 KING PHILIP RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.B, I

SUD.262

Middlesex County maps and atlases: 1908.

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SUPPLEMENTARY IMAGES



Façade (northeast elevation).

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

K09-0034	Framingham	SUD.B, I	SUD.34, SUD.421
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LHD 04/10/1972

Photograph



Façade (south) and east elevations.

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 62 King Philip Road

Historic Name: Benjamin Richardson House and Barn

Uses: Present: residential
Original: residential

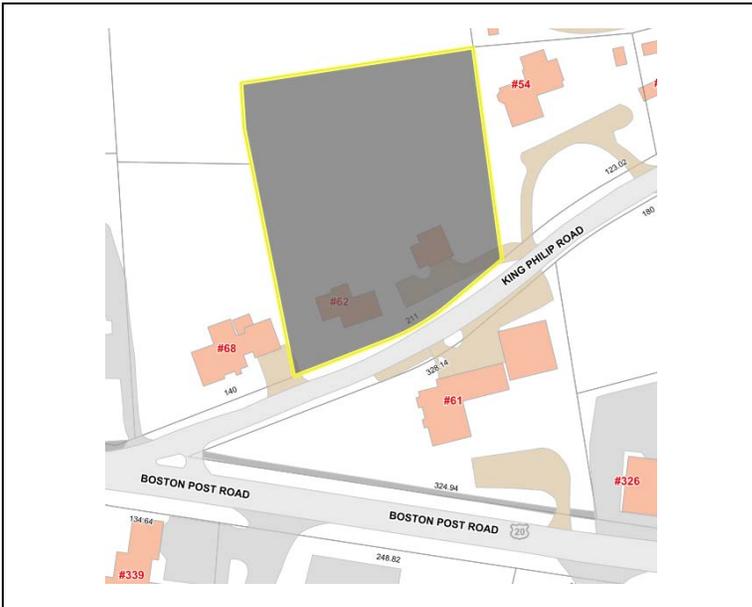
Date of Construction: 2nd quarter 19th century

Source: maps and atlases, visual inspection

Style/Form: Federal

Architect/Builder: see narrative

Locus Map



Exterior Material:

Foundation: stone

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
barn

Major Alterations (*with dates*):
house: rear addition?, dormer windows, bay window (20th c) – barn: garage, side and rear additions, exterior chimney (20th c)

Condition: excellent

Moved: no yes **Date:**

Acreage: 0.99 acres

Setting: Located on a quiet residential street containing a variety of 19th and 20th century development. The large lot slopes up from the street, with the house set on a shallow rise and the barn standing well above street level, behind a granite retaining wall. The moderate front setback of the house is maintained chiefly in lawn.

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

62 KING PHILIP RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.B, I

SUD.34,
SUD.421

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The property at 62 King Philip Road consists of a cape-style cottage with a side wing, and a banked barn. The house rises 1½ stories from a granite block foundation to a side gable roof without gable returns. A squat chimney rises from the ridgeline in the center of the house. Walls are sheathed with clapboards and trimmed with flat sill boards and corner boards. Windows typically occur singly, have 6/6 sash, and are trimmed with band molding. Five bays wide by one bay deep, the main block has a center entrance with a single-leaf door and two modest gabled dormers on the façade (south elevation). The classical door surround features slender pilasters and a high fascia with projecting cornice. The symmetrical east elevation has one window centered on the first floor and half story. The west elevation has a modern bay window on the first floor and a typical window offset in the half-story. Attached to the northwest corner of the house is a 1½ story, shed-roofed ell that may originally have been a workshop. It has a variety of window types on the façade: two on the first floor that appear modern, and small 6/6 windows in the half-story that may be early. A one-story, shed-roofed addition extends from the rear of the ell. Fenestration on the west side elevations of the ell and its addition are not clearly visible from the street.

An early barn stands to the east of the house, rising 1½ stories above a fully exposed basement level to a gabled roof. Clapboard walls are trimmed with narrow corner boards; windows have flat casings. The symmetrical façade (south elevation) contains a wide garage door covered by a narrow pent roof across the entire wall at basement level, three 6/6 windows on the first floor, and a small, segmentally arched window in the gable peak. The east elevation has an exterior chimney towards the front of the building, and a small 3-light window and pedestrian door towards the back. The west elevation is covered by a utilitarian, shed-roofed porch; fenestration on this wall is not visible from the street.

Well preserved and well maintained, 62 King Philip Road is a handsome example of modest, early 19th century domestic architecture in Sudbury. Notable design features include the house's simple massing, ornamental entrance, intact fenestration and trim, and uncommon shed-roofed ell. Further research is recommended to determine the history of the ell. The largely intact barn is remarkable for its survival with the house, and is further notable for its banked construction, unpretentious fenestration, and segmentally arched loft window.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Known locally as the Benjamin Richardson place, this house and its occupants reflect the activities in Mill Village, the 19th-century industrial and commercial center radiating from the intersection of Boston Post Road and Concord Road. Benjamin Hemenway Richardson, Jr. (1821-1906) is most closely associated with this house, and shown as the owner of the property on the 1856 county map. A carpenter by trade, he apparently also served as the railroad station agent in 1880. He represented Sudbury in the General Court in 1858, and was a justice of the peace and a deacon in the Congregational Church [Hudson, 449, 525]. In the town's 1859 tax valuation, Richardson was assessed for buildings and land, whereas most residential property owners would also be assessed for a house. This suggests the possibility that the building here may not have been in residential use in 1859, and perhaps served as a shop that was subsequently converted to a dwelling. The 1870 assessment records a house and barn (demolished) on one-half acre. By 1890, Richardson's residence occupied one acre, the approximate size of the current parcel.

Benjamin Richardson Jr.'s adult children, Leonard F. and Emily Richardson, stayed on in their father's house after his death, selling it in 1917. Leonard Richardson was employed as a telegraph operator at the nearby railroad station. Subsequent

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

62 KING PHILIP RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I

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owners in the 1920s included Isabel Towle Sprague (from 1920 to 1924), whose first husband, Benjamin F. Towle, was a traveling salesman for a shirt manufacturing company. Her second husband, Percy T. Sprague, was a Watertown real estate broker whose agency, Harris & Sprague, handled the sale of this property. The widowed Mary A. Murdock, a confectioner and owner from 1925 to 1927, perhaps sold candy from her home. This house was a residence for Gladys I. Page, the owner from 1927 to 1950, and her father, Henry N. Page, salesman for a hay and grains company. Born in Waltham, Gladys Page (1897-1991) was an art historian with degrees from Mount Holyoke College and Harvard University. She was employed at Mount Holyoke in South Hadley and Smith College in Northampton before retirement, and was a charter member of the Sudbury Garden Club, founded in 1931. Arthur E. Grannis, Jr. and his wife, Dorothy, resided here from 1950 to 1967, during which time Arthur served ten terms as treasurer of the Vokes Players, Inc. theater company in Wayland. Salesman Howell F. DuPuy III and his wife, Marilyn, were the subsequent owners to 1970. Edwin A. Blackey, Jr., who purchased the property in 1970, was one of four residents on King Philip Road who petitioned the Board of Selectmen to create the local historic district here, established in 1972 and expanded to its current size in 2005.

Previous survey documentation provides an estimated construction date of ca. 1800 for this house, and the plaque on the facade dates the building to 1750. Interior inspection of the framing is recommended to corroborate an 18th-century date. On the 1830 town map, a building in the approximate location of this house is labeled "E. Kidder's House," while the house of Benjamin H. Richardson (Senior) appears to correspond to a nearby dwelling at 38 King Philip Road (SUD.36). Examination of grantor-grantee deed indices for the second quarter of the 19th century did not identify any transactions between the Richardson family and Kidder. If the framing here proves to be of 18th-century construction, additional deed and probate research is suggested. The road known in 19th-century deeds as the old Worcester Road and in Sudbury directories as Bow Road was renamed King Philip Road by the 1920s.

BIBLIOGRAPHY and/or REFERENCES

- "Arthur E. Grannis Jr. is reelected Vokes treasurer." *The Fence Viewer*, Sudbury (December 14, 1961), 1:2.
- Hudson, Alfred Sereno. *The History of Sudbury, Massachusetts, 1638-1889*. By the town, 1889.
- Middlesex County maps and atlases: 1856, 1875, 1889, 1908.
- Middlesex South Registry of Deeds: 4230:438 (1917), 4384:460 (1920), 4836:197 (1925), 5121:239 (1927), 7593:521 (1950), 11349:368 (1967), 11916:29 (1970).
- Page, Gladys. Obituary. *Sudbury Town Crier and Fence Viewer* (October 24, 1991), 6:1.
- Resident/voting lists, Town of Sudbury: 1946, 1969.
- Richardson, Benjamin Hemenway. Death records, Sudbury (March 5, 1906). *Massachusetts, U. S., Death Records, 1841-1915*. Database and images. www.ancestry.com. Accessed May 2021.
- Richardson, Benjamin Hemingway [sic], Jr. Find a Grave memorial ID 60306295. Mount Wadsworth Cemetery, Sudbury. www.findagrave.com. Accessed May 2021.
- Sudbury directories: 1904, 1911, 1913, 1915, 1926, 1930, 1936.
- "Sudbury Garden Club celebrates 25th year." *Sudbury Citizen* (April 19, 1956), 1:3.
- Sudbury maps: 1795, 1830.
- Tax valuations, Town of Sudbury: 1859, 1870, 1890, 1921, 1942.
- U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.
- Vinton, John Adams. *The Richardson Memorial, Comprising a Full History and Genealogy of the Posterity of the Three Brothers, Ezekiel, Samuel, and Thomas*. Portland, ME: Brown Thurston & Co., 1876, pp. 254, 422-427. www.ancestry.com. Accessed May 2021.
- Vital Records of Sudbury, Massachusetts, to the Year 1850*. Boston, MA: New England Hist. Genealogical Society, 1903.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

62 KING PHILIP RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.B, I

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SUPPLEMENTARY IMAGES



Facade (south elevation).



Barn: Façade (south) and east elevations.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

M10-0018

Framingham

SUD.422

Photograph



Façade (west) and south elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broome, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 10 Landham Road

Historic Name: Henry T. McSweeney House

Uses: Present: residential
Original: residential

Date of Construction: ca. 1930

Source: deeds, census, directories

Style/Form: Craftsman

Architect/Builder: not determined

Exterior Material:

Foundation: concrete block

Wall/Trim: vinyl/vinyl

Roof: asphalt shingle

Outbuildings/Secondary Structures:

sheds – duplex dwelling constructed on parcel in 2012

Major Alterations (*with dates*):

vinyl siding and trim; replacement window sash (L 20th – E 21st c)

Condition: good to fair

Moved: no yes **Date:**

Acreage: 0.45 acres

Setting: Located on a corner lot on a main north/south thoroughfare, very close to the Framingham town line. Surrounded by heterogeneous residential development from the 20th –early 21st c on relatively large parcels. Flat lot maintained primarily in turf, with shrubby hedges on Landham Rd (west) and south edges of parcel; paved driveway to south of house.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

10 LANDHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.422

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

10 Landham Road consists of a small rectangular building, rising one story from a low foundation to a front-gabled roof. A small chimney ascends from the ridgeline in the middle of the dwelling. The simple volume is elaborated with a glass-enclosed sunroom across the front, two rectangular bay windows on the south elevation, and a utilitarian back porch. Walls are clad with vinyl siding and trim. Windows occur singly and in pairs, typically have 6/1 replacement sash, and are trimmed with vinyl. The sun porch spanning most of the façade contains the main entrance, which features double-leaf doors flanked by paired narrow windows on each side. The sun porch's side elevations each have a triplet of narrow windows. Two bay windows on the south elevation are cantilevered from the foundation and have paired windows; their roofs are an extension of the main gable. The north elevation has three window bays, including a single window at each end and paired windows in the center. The utilitarian and asymmetrical rear elevation has a shed-roofed rear porch with modern posts and square balusters.

Well maintained, 10 Landham Road is a good example of modest, small scale, early 20th century cottage development in Sudbury. Although it has lost original siding, trim, and window sash, it is one of the better preserved examples of this period in town. Notable features include the rigorously symmetrical composition of its three major elevations, the dominant front entry porch with double-leaf doors, and the cantilevered bay windows that are integrated with the main roofline on the conspicuous south elevation.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Henry T. McSweeney House is one of very few early 20th century bungalows surviving in the Landham Road vicinity. While some examples of this house type in Sudbury were built for use in waterside recreation areas, this house represents growing suburbanization dependent on the automobile. U. S. mail for residents in this part of Sudbury, still largely agricultural until after World War II, was distributed through Rural Free Delivery (RFD) out of Framingham.

The precise construction date of the house has not been determined. McSweeney was residing here by 1930, per the Sudbury directory, which described this street as Landham Road, and the U. S. census, which still recorded this street as the Saxonville Road. Henry Thomas McSweeney (1887-1957) was born in County Cork, Ireland, and immigrated to the United States about 1908, moving to Sudbury from Boston. A widower, he lived here with his two children, and was employed as an automobile salesman. He also built, before 1931, a residential garage at the southeast corner of the property, which was demolished at an undetermined date. By the 1940s, son William worked on a farm, and later for a poultry business, while daughter Ellen was a bookkeeper for a bank. After her father's death, Ellen McSweeney resided here with her husband, Felix P. Nichols. Both were retired by 1969.

In 1999, the Nichols family conveyed this house to the Sudbury Housing Authority.

BIBLIOGRAPHY and/or REFERENCES

McSweeney, Henry T. Entry in *Massachusetts, U. S., Death Index, 1907-1980* [incorrectly transcribed as 1958, record says 1957]. Database and images. www.ancestry.com. Accessed May 2021.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

10 LANDHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.422
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-----, Henry Thomas. Registration card, serial no. U2957 (April 27, 1942). *U. S., World War II Draft Registration Cards, 1942*. Database and images. www.ancestry.com. Accessed May 2021.

Middlesex County maps and atlases: 1908.

Middlesex South District Registry of Deeds: 5550:4 (1931, for smaller abutting parcel), 6304:215 (1932 executed, 1939 recorded), 6304:216 (1939), 9523:486 (1959), 29880:405 (1999).

Plan of Land in Sudbury, Mass. to be Conveyed by Harry L. and Julia A. Ames (January 1931). Rowland H. Barnes and Henry F. Beal, Civil Engineers. Middlesex South Registry of Deeds, Plan No. 225 of 1931. Smaller parcel abutting house lot.

Resident/voting lists, Town of Sudbury: 1946, 1969.

Sudbury directories: 1926, 1930, 1936.

Tax valuations, Town of Sudbury: 1921, 1942.

Town of Sudbury zoning map: 1938.

U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.

USGS topographical maps: 1943, 1951 (Framingham quadrangle).

Various references to McSweeney-Nichols family in Sudbury Newspaper Archive. <http://sudbury.advantage-preservation.com> Accessed May 2021.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

K08-0016	Framingham	SUD.P	SUD.366, SUD.423
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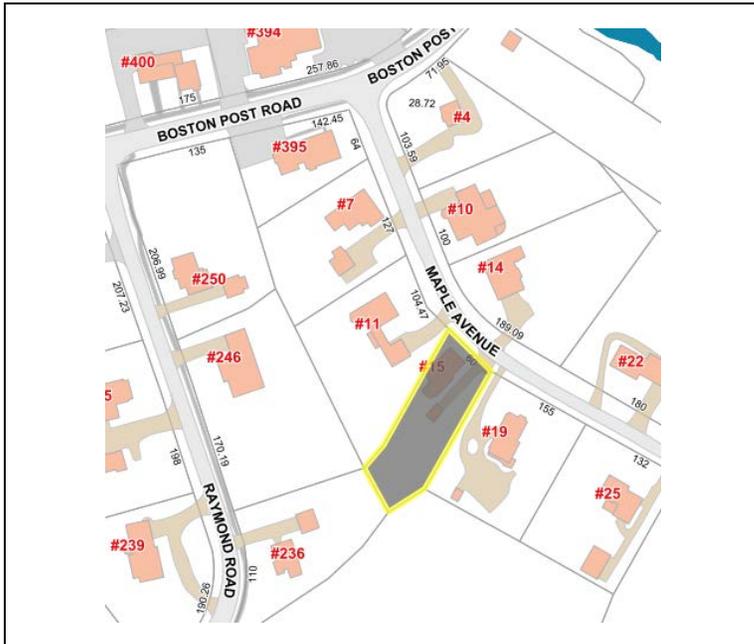
LHD 04/09/2008

Photograph



South and façade (east) elevations.

Locus Map



Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 15 Maple Avenue

Historic Name: Karl and Marion Donaghy House and Garage

Uses: Present: residential
Original: residential

Date of Construction: ca. 1922-1926

Source: deeds, directories

Style/Form: Craftsman/Bungalow

Architect/Builder: not determined

Exterior Material:
Foundation: concrete
Wall/Trim: clapboard/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures: garage

Major Alterations (*with dates*):
screened enclosure of front porch, rear addition (L 20th c?)

Condition: excellent

Moved: no yes **Date:**

Acreage: 0.33 acres

Setting: Located on a semi-rural residential cul-de-sac, populated with a variety of frequently spaced, 20th century houses. The lot slopes very gently down to the back, with a modest front setback maintained chiefly in ground cover and scattered shrubs.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

15 MAPLE AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.P

SUD.366,
SUD.423

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 15 Maple Avenue consists of a rectangular main block and a small, offset rear ell. The main block rises 1½ stories to a side gable roof without gable returns. A small chimney rises from the center of the ridgeline. Walls are clad with wide clapboards and trimmed with narrow corner boards. Windows typically have 6/1 sash and flat casings and occur singly and in pairs. The façade (east elevation) has a three-bay, full-length porch with a shed roof and solid, low walls; it is supported on Tuscan columns (in pairs where framing the center opening and in triplets at the outer corners). Behind the porch is an offset doorway with a single-leaf, glass- and wood-paneled door and an angled bay window. The front slope of the main roof is occupied by a nearly full-length, shed-roofed dormer with two pairs of windows. The side elevations of the house have irregular fenestration. The offset, one-story extension on the southwest corner of the building contains a recessed entrance in the middle and an angled bay window towards the front, all under a pitched roofline. A one-bay wide extension across the rear of the main block rises two full stories to a shed roof. Positioned to the northeast of the house is a small, one-car garage with a hip roof, wood clapboard walls, and a glass- and wood-paneled door across the façade.

Well preserved and well maintained, 15 Maple Avenue is a modestly scaled but handsome example of early 20th century residential development in Sudbury. Exceptionally intact for Sudbury, notable design features include the gabled massing with picturesque rooflines, carefully detailed front porch, collection of bay windows, early or original front door, largely original fenestration, and early garage. The modest garage is a rare local survivor of its building type and period, and appears to be largely intact.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Karl and Marion Donaghy House is a good example of early 20th century residential development at South Sudbury, adjacent to the town's expanding commercial district along Boston Post Road. After the widowed Maud Miles sold her home at 7 Maple Avenue (ca. 1800, SUD.30) in 1922, the Donaghys purchased a newly created house lot (one-third acre) at the southeast corner of the former Miles property. Though deeds do not reference a building on this property until 1948, the Donaghys are listed in the 1926 directory with a Maple Avenue address, indicating the house was built by that time. Karl W. Donaghy was employed as a telegraph operator in Sudbury, and for the Western Union Telegraph Company previously, when the couple lived in Cambridge.

Charles O. Robinson purchased this property in 1926 and subsequent deeds refer to the dwelling as the Robinson House. He and his older son, Ralph S. Robinson, were both widowers who shared a household by 1930. Charles was a retired leather worker, while Ralph was employed as a draftsman, and later an architect, for a rubber mill. The Robinson family may have leased this house to tenants after Charles's death in 1936, as neither Ralph nor his brother, Raymond C. Robinson, lived in Sudbury by that time. In 1948, Ethan and Edith Hull of Waltham acquired this house. Ethan Hull worked at a greenhouse, likely in Sudbury, in 1969 and was employed by the International Paper Company at the time of his retirement in 1980. A World War II veteran, he was also a member of the Sons of the American Revolution. Edith Hull worked at the New England Telephone Company and served on Sudbury's Board of Appeals. She was active in the Republican Town Committee, the Women's Afternoon Fellowship of Memorial Congregational Church, and as a troop leader and council member for the Girl Scouts. The house remains in the family.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

15 MAPLE AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.P

SUD.366,
SUD.423

Maple Avenue was also known in the first half of the 20th century as Leavitt Road, per deeds, the 1938 zoning map, and the 1940 U. S. census.

BIBLIOGRAPHY and/or REFERENCES

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- Hull, Edith. Obituary. *Sudbury Town Crier* (November 9, 2000), 17:3.
- Hull, Ethan. Obituary. *Sudbury Town Crier and Fence Viewer* (August 6, 1987), 6:3.
- Middlesex County maps and atlases: 1908.
- Middlesex South Registry of Deeds: 4543:46 (1922 August), 4972:371 (1926), 7286:495 (1948).
- Resident/voting lists, Town of Sudbury: 1946, 1969.
- Sudbury directories: 1926, 1930, 1936.
- Tax valuations, Town of Sudbury: 1921, 1942.
- Town of Sudbury zoning map: 1938.
- U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.
- USGS topographical maps: 1943, 1951 (Framingham quadrangle).

SUPPLEMENTARY IMAGES



Porch detail on façade.



Garage.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

K08-0018	Framingham	SUD.P	SUD.368
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LHD 04/09/2008

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 25 Maple Avenue
Historic Name: George and Margaret Duane House
Uses: Present: residential
Original: residential
Date of Construction: ca. 1939
Source: deeds
Style/Form: no style
Architect/Builder: not determined

Photograph



East and façade (north) elevations.

Exterior Material:
Foundation: concrete
Wall/Trim: clapboard/wood
Roof: asphalt shingle

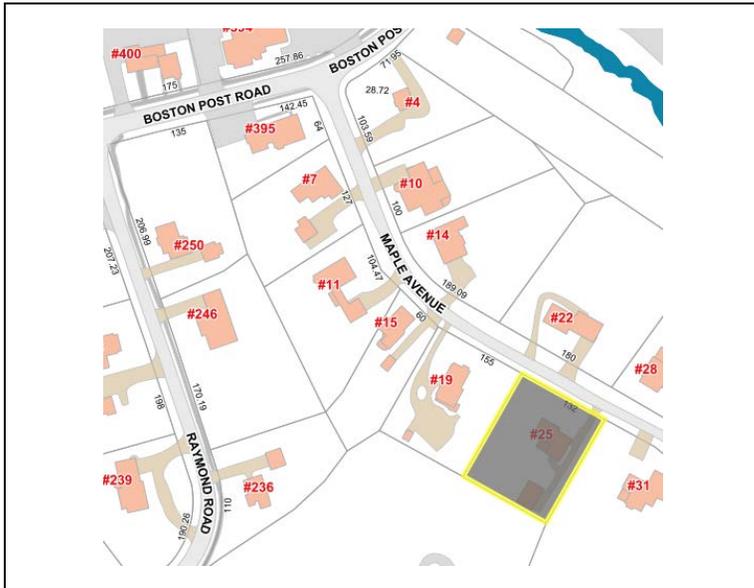
Outbuildings/Secondary Structures:
garage

Major Alterations (*with dates*):
side ell, fenestration, trim? (L 20th – E 21st c?)

Condition: fair
Moved: no yes **Date:**
Acreage: 0.41 acres

Setting: Located on a semi-rural residential cul-de-sac, populated with a variety of frequently spaced, 20th century houses. The lot slopes up slightly from the street to the house; the deep front setback is maintained chiefly in lawn.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

25 MAPLE AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.P

SUD.368

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

25 Maple Avenue contains a rectangular main block rising 2½ stories to a side gable roof and a large, one-story gabled ell appended to its east side. A small brick chimney rises from the eastern end of the ridgeline on the main roof. Walls are clad with wood clapboards and trimmed with flat corner boards and fascia and a molded belt course at the sill level of the second story. Windows typically have what appears to be 6/6 sash, flat casings, and a simple, molded lintel cap; openings on the second floor are taller than those on the first floor. On the main block, the symmetrical façade (north elevation) has four windows on the first floor and three on the second floor. The symmetrical west elevation has two widely spaced window bays on the first two floors and a small window centered in the half story; the upper floors of the east elevation are similar. The one-story side ell contains the main entrance to the building, fronted by a three-bay porch with Tuscan columns and a modern balustrade, a shed roof, and an offset cross gable. The façade of the ell contains a modern offset doorway and paired windows that align with the cross gable on the porch roof. The side (east) elevation of the ell has two symmetrically placed windows. A modern two-car garage is attached at the back.

Well maintained, 25 Maple Avenue displays an unusual mixture of architectural features whose historic provenance is unclear. Notable design features include the simple massing of the 2½ story main block, belt course detail, and window lintel moldings. Further investigation is required to better establish the evolution of this building over time.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Illustrating residential infill construction in South Sudbury during the Depression era, the Duane House was one of ten houses built on Maple Avenue by 1940. George B. Duane purchased the property on February 24, 1939 from Dennis G. Bewsey of Orange, Massachusetts, and Alice H. Bradshaw of Sudbury. The home remained in the Duane family until 1982. Born in Roxbury (Boston), George Bernard Duane (1913-1981) moved to Sudbury as a young child. After marrying in 1935, he and his wife, Margaret Ellen Duane, moved from Boston Post Road (known as State Road in the 1936 directory) to Maple Avenue. Duane's World War II draft registration card, dated October 16, 1940, noted he was employed at "Wayside Inn Farm" and lived on Maple Avenue. He went on to work for many years as a driver for Suburban Propane Gas Corporation, which distributed propane and gas appliances to homes, farms, businesses, and industrial plants within a thirty-mile radius of the company's headquarters on Boston Post Road in Sudbury.

Establishing the relationship between George Duane and Alice B. Bradshaw, and the circumstances under which Duane came to Sudbury, requires in-depth genealogical research at a future time. In the 1920 census, Duane was listed as a 6½-year-old boarder in Mrs. Bradshaw's household; she was the widow of Eugene J. Bradshaw, a real estate broker. Also residing as a boarder in the home at that time was James J. Bewsey, a railroad crossing tender who had emigrated from England to the United States in 1869. Both George Duane and James Bewsey continued as boarders with Alice Bradshaw into the 1930s, before James Bewsey died in 1938. There is a possibility the house at 25 Maple Avenue pre-dates George Duane's purchase from the Bewsey family and Alice Bradshaw, though the 1939 deed does not explicitly reference a building on the property.

BIBLIOGRAPHY and/or REFERENCES

USGS topographical maps: 1943 (Framingham quadrangle, based on survey completed in 1940).

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

25 MAPLE AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.P

SUD.368

Tax valuations, Town of Sudbury: 1921.

Sudbury directories: 1926, 1930, 1936.

Resident/voting lists, Town of Sudbury: 1946, 1969.

U. S. census records: 1910-1940. Database and images. www.ancestry.com. Accessed May 2021.

Bewsey, James J. Find a Grave memorial ID 155709051. Mount Wadsworth Cemetery, Sudbury. www.findagrave.com. Accessed May 2021.

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"Safety awards given – Suburban Propane Co." *Sudbury Citizen* (February 5, 1959), 1:4.

Middlesex South Registry of Deeds: 6276:573 (1939), 14633:83 (for 1981 death of George B. Duane), 14826:153 (1982).

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

K08-0019	Framingham	SUD.P	SUD.370, SUD.424
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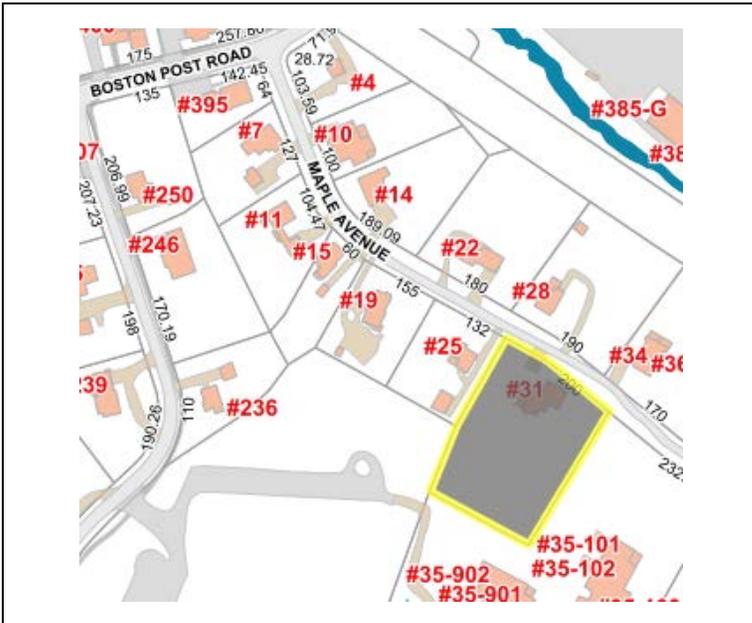
LHD 04/09/2008

Photograph



Façade (north) and west elevations.

Locus Map



Town/City: Sudbury

Place: (*neighborhood or village*): South Sudbury

Address: 31 Maple Avenue

Historic Name: Clifford and Myra Burr House and Garage

Uses: Present: residential
Original: residential

Date of Construction: ca. 1921-1926

Source: deeds, directories

Style/Form: no style

Architect/Builder: see narrative

Exterior Material:
Foundation: concrete
Wall/Trim: clapboard/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures: garage

Major Alterations (*with dates*): side addition, fenestration (L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 1.25 acres

Setting: Located on a semi-rural residential cul-de-sac, populated with a variety of frequently spaced, 20th century houses. The land immediately surrounding the house is flat, with a slight berm at the street edge.

Recorded by: W. Frontiero and K. K. Broome, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

31 MAPLE AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.P

SUD.370,
SUD.424

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 31 Maple Avenue consists of a modest, cape-style main block with a substantial side addition extending from the southwest corner. The main block rises 1½ stories to a side gable roof; it is three bays wide and three bays deep. A chimney rises from the front slope of its roof, slightly off center. The visible portion of the side addition is one room deep and rises 2 stories to an asymmetrical side-gable roof. Walls are sheathed with clapboards (beveled on the east elevation) and are trimmed with flat sill boards, corner boards, and fascia. Windows occur singly, in pairs, and in trios; they typically have 6/1 sash and banded trim (flat casings on the east elevation).

The main block has a three-bay façade with a center entrance that is flanked by a tripartite window on each side. The single leaf doorway has flat casings and a modest but pronounced cornice. The west elevation of this block has paired and tripartite windows on the first floor and a single window in the half-story; the rear roof slope is raised to connect with the side addition. The symmetrical east elevation of the main block has three evenly spaced windows on the first floor and a single window in the half-story. Tall and long, the modern side addition is two stories high at the rear; its front roof slope extends downward to cover a recessed porch facing the front of the lot. Low to the ground, its three-bay porch has square posts, a center entrance having a single-leaf door with ¾-height sidelights, and a single window to the west. The addition's west elevation has irregular fenestration, including a pair of square windows at the first floor and a 9/9 window at the second floor. A large cross gable perches on the front slope of the roof, behind the main block.

Positioned to the south of the house, near the street and the south lot line, is a small, early garage. The structure is one story high with a low-pitched gable roof, beveled clapboard siding, and flat corner boards. A pair of hinged, glass- and wood-paneled doors is centered on the façade. The east elevation has a 2/2 window in the center and a horizontally-paneled, single-leaf door towards the back. Doors and windows are trimmed with flat casings.

Well maintained, 31 Maple Avenue is a typical example of highly altered, early 20th century residential development in Sudbury. The most notable historic feature of the building is the 1½ story cottage form of the main block. Its grouped windows may be early or later alterations; further investigation is required to better establish the evolution of this building over time. The side addition overwhelms the original structure in size and scale. The modest garage is a rare local survivor of its building type and period, and is largely intact.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house is associated with the extension of residential development along Maple Avenue (previously known as Leavitt Road) in the 1920s. Olive Williams Foss, wife of Sudbury real estate broker Fred N. Foss, owned a substantial tract of 40 acres on Maple Avenue, extending from the Central Massachusetts Railroad on the north to Allowance Brook on the south. The Fosses held title to several properties in Sudbury at the time. In 1921, Olive Foss sold this building lot to Clifford B. Burr, a Sudbury carpenter. It appears Burr built the house and resided here with his wife, Myra, until selling the property in 1926. Clifford Barstow Burr (1873-1942) worked as a carpenter for H. C. Haynes Company in Wayland in 1918, and moved to Sudbury by 1920. The Burr family resided on Church Street before moving to Maple Avenue. Middlesex County deeds grantor indices suggest Burr owned and sold other properties in Sudbury, perhaps building those houses as well.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

31 MAPLE AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

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SUD.P

SUD.370,
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Residents of the house in the second quarter of the 20th century may have included tenants in addition to owner-occupants, though the tenants have not been identified. James E. Kelley and his wife, Mary, moved from Shelter Island, New York to Sudbury, purchasing this property in 1926. Both emigrated from Canada to the United States between 1900 and 1906. While owning this property, the Kelleys are recorded as residents of Concord Road in 1930, when James Kelley was employed as a building contractor. They moved here by 1940. James Kelley was employed as a farm laborer, and their lodger, Esther Fields, worked as a waitress in a restaurant.

After World War II, residents generally commuted to employment in other towns. Erie A. Tucker and his wife, Nina, lived here from 1945 to 1952, during which time Erie Tucker served as a teacher then headmaster at the Browne and Nichols School (now Buckingham, Browne and Nichols) in Cambridge. Philip J. Withrow was employed as a consultant when he and his wife, Muriel, owned the property, from 1952 to 1971. In Sudbury, Philip Withrow was active as an advisor to the Algonquin Council Explorer Scouts. The Withrows started a Sudbury branch of the American Youth Hostel Council in 1970 to promote reasonably priced student travel to Europe.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

31 MAPLE AVE

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.P	SUD.370, SUD.424
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SUPPLEMENTARY IMAGES



Main block: East and façade (north) elevations.



Garage.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

K09-0073	Framingham	SUD.P	SUD.371, SUD.425
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LHD 04/09/2008

Photograph



Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 34-36 Maple Avenue

Historic Name: Foss House and Garage

Uses: Present: residential
Original: residential

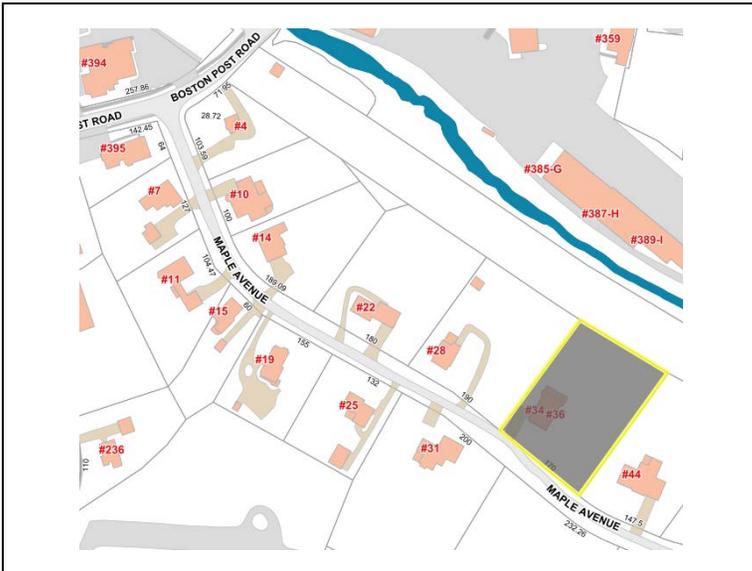
Date of Construction: ca. 1921-1926

Source: deeds, directories

Style/Form: Craftsman/Bungalow

Architect/Builder: not determined

Locus Map



Exterior Material:

Foundation: concrete

Wall/Trim: aluminum/wood,
vinyl/aluminum

Roof: asphalt shingle

Outbuildings/Secondary Structures:
garage

Major Alterations (*with dates*):
artificial siding, replacement window sash, front porch railing
and possibly posts (L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 0.99 acres

Setting: Located on a semi-rural residential cul-de-sac, populated with a variety of frequently spaced, 20th century houses. The lot slopes down from the street and is maintained mostly in lawn.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

34-36 MAPLE AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.P

SUD.371,
SUD.425

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

34-36 Maple Avenue is a duplex designed to read as a single-family house. The building rises 1-3/4 stories from a raised basement to a broad side-gabled roof with angled braces at the eaves. The front roof slope incorporates a recessed porch across the full length of the façade, and a corbelled chimney rises from the middle of this roof slope, near the ridgeline. Walls are sheathed with artificial siding, but flat wood trim may remain as corner boards. Windows occur singly, in pairs, and in trios; they are symmetrically placed on the façade and are asymmetrically arrayed on the side elevations. 1/1 replacement sash predominates on the east side of the building, while multi-paned upper sash (possibly early or original) are typical on the more intact west side.

The first floor of the building façade contains a center entry vestibule with two Queen Anne-style, stained glass windows facing the street and a single-leaf door facing each side. A single window flanks each side of the entry vestibule on the main façade. A shed-roofed dormer spans most of the front slope of the main roof; it features angled braces at the raking eaves and four individual windows. Two small entry vestibules with shed roofs project from the back of each side elevation. Fenestration on the side elevations is irregularly arrayed, with a plethora of window types and sizes.

A one-car garage is positioned on the southwest corner of the site, near the street. This modest structure is one story high with a front gable roof, concrete foundation, and beveled clapboard siding with flat corner boards. A garage door is centered on the façade, surmounted by a horizontal, 6-light window, both with flat trim. A single, 6/6 window with flat trim is centered on each of the long walls.

Well maintained, 34-36 Maple Avenue is a good example of early 20th century suburban development in Sudbury, especially distinctive for its duplex building type. Notable design features include the ample roof volume, recessed porch and front dormer window, braced raking eaves, main entry vestibule, and abundance of window types and styles. Artificial siding, replacement window sash, and alterations to the porch railings and likely the posts detract from the historic integrity of the building. The modest garage is a rare local survivor of its building type and period, and is largely intact.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

While the early history of this house is unclear, the architectural design indicates a construction date in the 1920s, which is consistent with similarly styled dwellings elsewhere in Sudbury. This parcel of land was not created until 1955, when it was divided from a 40-acre tract that extended from the Boston and Maine Railroad (formerly the Central Massachusetts Railroad) on the north to Allowance Brook on the south. Olive Williams Foss, wife of Sudbury farmer-turned-real estate broker Fred N. Foss, had purchased the large tract in 1921 from the Raymond family. This house appears to have been built by the Fosses shortly thereafter. Ownership passed through at least four generations of the Foss family to the 1980s, with deed conveyances among the Foss children – Edyth Hutchby, Eleanor Brown, Gladys Tighe, Elwyn Foss, and Dorothy Allen – as well as grandchildren and great-grandchildren.

The 1926 directory records Fred and Olive Foss residing on Maple Avenue and suggests their son, Elwyn Foss, resided in a separate household, since he is not listed as a boarder in his parent's house. Elwyn Foss was employed as a driver. By 1940, Maple Avenue, then known as Leavitt Road, still had two households associated with the Foss family. Fred and Olive Foss owned and occupied their residence, while their daughter Edyth Hutchby and her husband, John W. Hutchby, rented an

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

34-36 MAPLE AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.P

SUD.371,
SUD.425

adjacent residence. It appears this house may have accommodated two units through the mid-20th century, with one unit occupied by the owners and the other rented to family members or others. By 1969, Foss grandson Bradley P. Tighe and his first wife, Estelle, resided here, at 34 Maple Avenue. Tighe was employed by New England Telephone Company for forty-two years, retiring in 1990 as a foreman. He continued to own this property while maintaining his subsequent residence, from the 1970s onward, in Sherborn.

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Plan of Land in Sudbury, Property of Elwyn Foss (June 23, 1955). Schofield Brothers, Registered Civil Engineers. Middlesex South Registry of Deeds, Plan No. 1234 of 1955.

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Sudbury directories: 1926, 1930, 1936.

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Tighe, Bradley P. Obituary. *Sudbury Town Crier* (June 26, 2003), 11:1.

Town of Sudbury zoning map: 1938.

U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com Accessed May 2021.

USGS topographical maps: 1943, 1951 (Framingham quadrangle).

SUPPLEMENTARY IMAGES



Façade (south) elevation.



Garage: West and façade (south) elevations.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

F04-0904	Maynard		SUD.426
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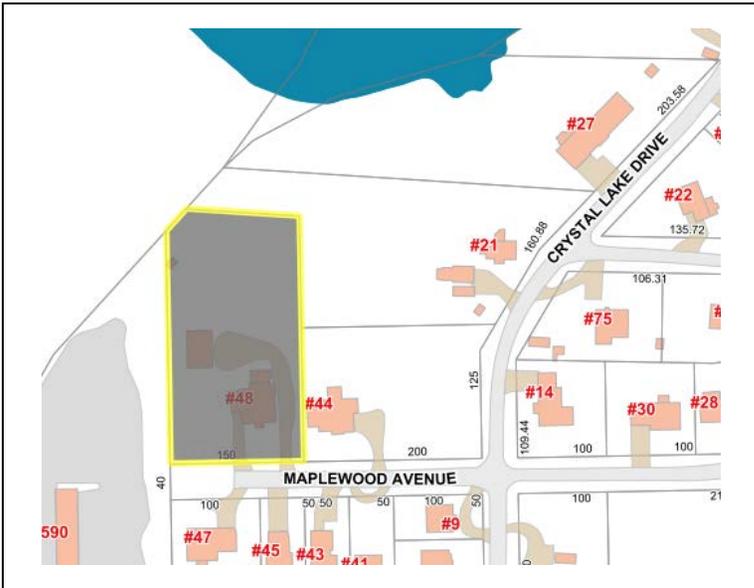
Photograph



Town/City: Sudbury
Place: (*neighborhood or village*): Pine Lakes
Address: 48 Maplewood Drive
Historic Name: Ferdinand J. Lehr House
Uses: Present: residential
Original: residential
Date of Construction: ca. 1937
Source: deeds
Style/Form: Craftsman
Architect/Builder: not determined
Exterior Material:
Foundation: concrete
Wall/Trim: fieldstone, wood shingle/wood
Roof: asphalt shingle
Outbuildings/Secondary Structures: garage

Locus Map

↑
north



Major Alterations (*with dates*):
attached garage (E – Mid 20th c) – front and rear porches,
replacement sash (L 20th – E 21st c)
Condition: good
Moved: no yes **Date:**
Acreage: 0.96 acres

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

Setting: Located at the cul-de-sac end of Maplewood Drive, in an early 20th c residential subdivision that was originally developed with small cottages on small lots; most have been significantly altered, enlarged, or replaced. Moderate front setback is flat and maintained chiefly in lawn; the remainder of the parcel slopes down from the street and away from the house. Stone retaining walls line the driveways on each side of the house.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

48 MAPLEWOOD DR

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.426

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

48 Maplewood Drive is a rectangular building embellished with an attached garage on one side, a projecting front portico, and rear porch. The main block rises 1½ stories to a side-gabled roof with jerkinhead ends and a longer rear slope. An exterior fieldstone chimney rises up the east elevation and pierces the roof eave. Walls are constructed of fieldstone, accented by slate shingles in the half-story of the gable ends. Window openings typically occur singly and have granite sills and stone lintels formed of small flared stones and a keystone. Sash are double-leaf casements. The five-bay façade has a center entrance with a single-leaf door and two windows on each side. Its very low-pitched gable roof is supported on modern, tapered wood columns surmounting stone bases (possibly original). Two hip-roofed dormers are symmetrically positioned on the front slope of the main roof. The dormers are clad with beveled clapboards, trimmed with flat corner boards, and may have slate shingles (closer inspection is required). The west elevation has three ganged windows with a continuous lintel at the first floor, a window centered in the half-story, and a utilitarian, one-vehicle-bay garage with a virtually flat roof and a vertical board door at the basement level. The east elevation contains one window to the front of the exterior chimney and two to the rear; no window is visible in the half-story. The ends of an apparently slate-shingled extension and a modern rear porch are visible at the back of the main block.

Well maintained and generally well preserved, 48 Maplewood Drive is an unusual and robust example of the Craftsman style in Sudbury and an uncommon survivor of early 20th century suburban development. The building's notable architectural features include fieldstone wall construction, the truncated gable roof and hip roofed dormers, and large window openings with stone sills and lintels. Replacement window sash and the rudimentary attached garage detract from the historical integrity of the building.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Ferdinand J. Lehr House was among the more expensive dwellings in Sudbury at the time of its construction. Ferdinand Lehr of Boston acquired more than 80 building lots at Pine Lakes beginning in 1937, encompassing much of the area between Maplewood Avenue, Crystal Lake Drive, and the south shore of Crystal Lake, roughly 400 feet to the north. He built this house on Lots 17 through 20 (Block V) of the Pine Lakes subdivision plan, creating a private enclave on the western edge of the neighborhood. This house could be considered one of the first suburban dwellings built at Pine Lakes, a recreational area principally characterized by seasonal cottages, known as camps, until after World War II. Ferdinand Jacob Lehr (1888-1959) was born in Alsace-Lorraine, then part of Germany, and came to the United States with his parents as a young child. Previously employed as a plumber (1909) and building contractor (by 1930), Lehr worked at the Boston Navy Yard while a Sudbury resident from ca. 1942 onward. This house and much of the adjacent land remained in the Lehr family until 1995. Younger brother Howard R. Lehr subsequently owned the house with his wife, Anne. Howard Lehr was employed in highway work in 1969, while Anne Lehr was active in the Women's Club and president of the Women's Republican Club in Sudbury.

This area of Sudbury west of the town center was sparsely settled into the 1920s. In 1927, John Adams of Medford acquired more than 78 acres in five tracts of land and woodlot off Hudson Road near Crystal Lake and Willis Pond. Adams operated a real estate trust with Eugene B. Hamilton of Somerville and Ervin R. Dix of Arlington, who was also a lumber dealer. They subdivided the land into 2,500-square-foot lots and established Pine Lakes, one of at least five camp districts the trust marketed in eastern Massachusetts. Pine Lakes offered seasonal visitors a wooded waterside setting well suited for hunting, fishing, swimming, and boating. Ferdinand Lehr's acquisition of more than 80 lots at Pine Lakes was highly unusual in a neighborhood where many camps and houses were built on tracts encompassing between two and four lots.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

48 MAPLEWOOD DR

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

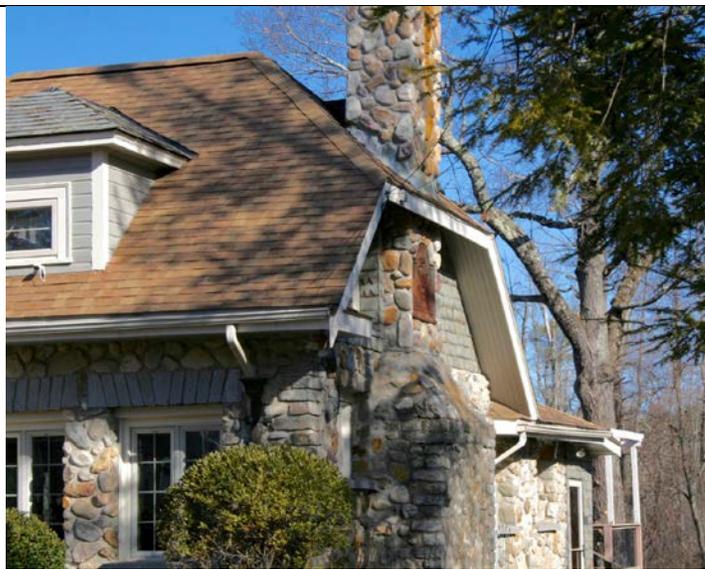
SUD.426

Houses on Maplewood Avenue have been renumbered since the 1990s. This house was previously known as 25 Maplewood Avenue.

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SUPPLEMENTARY IMAGES



Detail of east end of house.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

F07-0401	Maynard		SUD.427
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town/City: Sudbury
Place: (*neighborhood or village*): North Sudbury

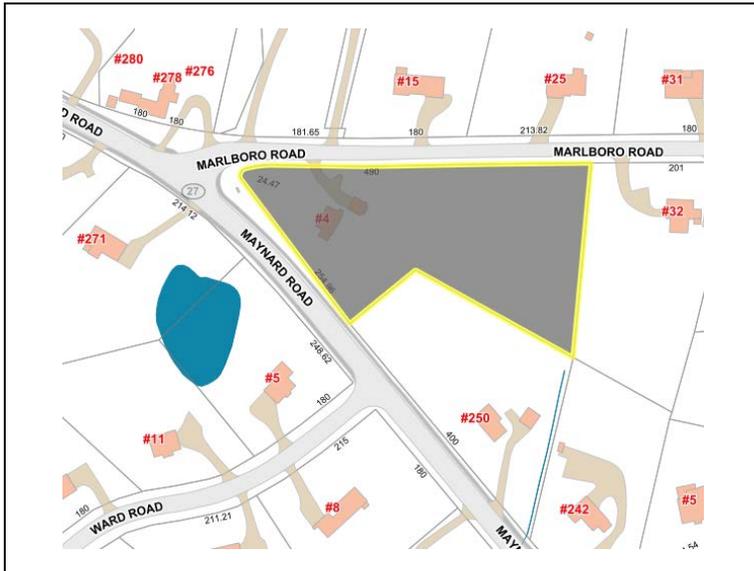
Photograph



Northeast and façade (northwest) elevations.

Address: 4 Marlboro Road
Historic Name: William L. and Marie Stoddard House
Uses: Present: residential
 Original: residential
Date of Construction: ca. 1925
Source: Land Court, directories
Style/Form: Colonial Revival
Architect/Builder: see narrative
Exterior Material:
 Foundation: poured concrete
 Wall/Trim: wood shingle/wood
 Roof: asphalt shingle

Locus Map



Outbuildings/Secondary Structures: garage

Major Alterations (*with dates*): porch railings, replacement window sash (L 20th – E 21st c)

Condition: excellent
Moved: no yes **Date:** 1983
Acreage: 2.08 acres

Setting: Located at a prominent intersection, adjacent to the main east/west thoroughfare of Maynard Road. Heterogeneous residential neighborhood characterized by large suburban houses on substantial lots. Deep front setback is maintained chiefly in lawn; land slopes gently down to the southeast from Marlboro Road.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

4 MARLBORO RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.427

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

4 Marlboro Road is a compact, rectangular building rising 1½ stories to a side-gambrel roof with minimal gambrel returns. A chimney rises from near the midpoint of the ridgeline. The basement level is nearly fully exposed at the rear. Walls are clad with wood shingles and have narrow bed molding at the eaves. Windows typically occur singly, are regularly arrayed, and have 6/6 replacement sash with band molding. The three-bay façade has a center entrance and a nearly full-length, shed-roofed dormer. The entrance features a single-leaf door with narrow sidelights and a small, pedimented portico supported on square Tuscan posts. The southwest elevation has two symmetrically placed, full-height windows at the basement level, one window towards the front of the first floor, two symmetrical windows on the second floor, and a small four-light window centered in the gambrel peak. The rear of the first floor features a large flat-roofed porch with square posts, modern railings, and an offset, single-leaf door. The end of a shed-roofed dormer is visible on the rear roof slope. Similarly composed, the northeast elevation has two windows and an offset entrance on the first floor, two symmetrically placed windows on the second floor, and a small four-light window centered in the gambrel peak. The small entry porch on this elevation has square posts, a plain entablature, flat roof, single-leaf door, and modern railings leading down a two-flight stairway.

Well preserved and well maintained, 4 Marlboro Road is a capable, unpretentious example of early 20th century residential development in Sudbury. Notable architectural features include its steep gambrel roof with shed-roofed dormers, modest entry porches at the front and sides, and intact fenestration and window trim.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house and accompanying garage were moved in October 1983 to their current site at 4 Marlboro Road from their original site at 50 Cochituate Road, Wayland. Located behind the Unitarian First Parish Church in Wayland, 225 Boston Post Road (1814, WAY.74), the buildings were moved to accommodate construction of the Church's parish hall (1984) and adjacent parking. Kip and Jennifer Van Steenburg of Wayland purchased the house and garage for \$1,500 and arranged to move them to the parcel they owned in Sudbury. The five-mile trip up State Route 27 took two days to complete, involving tree-cutting, shifting of telephone and electricity wires, and concomitant traffic jams. Payne Building Movers of Hampton, New Hampshire transported the buildings.

While not confirmed, this house may have been built by Everett W. Small of Wayland, who constructed a number of modest Colonial Revival and Dutch Colonial houses at Wayland Center in the late 19th and early 20th centuries [MHC]. A Land Court plan for a subdivision that included 50 Cochituate Road was recorded in 1925, and a ca. 1925 construction date is consistent with the architectural style of this house. The earliest owners of the house have not been determined; further deed research would be needed. The house served as a private residence until 1955, when the First Parish in Wayland acquired the property from Marie Stoddard. She and her husband, William Leavitt Stoddard (1894-1954) were longtime residents of Belmont before moving to Wayland in the late 1940s. William Stoddard was vice-president of the Lincoln and Therese Filene Foundation in Boston, and the former president of the New England Industrial Development Corporation. Once acquired by Wayland's First Parish, this house reportedly served as a parsonage from 1955, and was leased in the mid-1960s to the Family Counseling Service (Region West), Inc., a social service agency that used the house for office space. Further research is recommended at a future date to establish the sequence of parsonages associated with the First Parish Church in Wayland.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

4 MARLBORO RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	SUD.427
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- Compiled Plan of Land in Sudbury, Mass., owned by Paul Alexander and Joseph Sabanski* (February 23, 1982). Colburn Engineering, Inc. Middlesex South deeds, Plan No. 255 of 1982.
- Land Court Registration Book 00953, page 180, Certificate No. 164730. 2014.
- Massachusetts Historical Commission. MACRIS database and inventory forms, especially forms prepared by Gretchen Schuler for the First Parish Church (as cited in text).
- MHC Opinion: Eligibility for National Register. Wayland Center Historic District Boundary Increase. Reviewed Middlesex County atlas: 1908.
- Middlesex South District Registry of Deeds
- Stoddard, William Leavitt. Find a Grave memorial ID 52541268. Bridge Street Cemetery, Northampton. www.findagrave.com. Accessed May 2021.
- Untitled subdivision plan, Land Court Registration Book 00125, page 357, with Certificate No. 18720. Referenced in 1967 deed from First Parish Church in Wayland to Family Counseling Service (Region West), Inc., Certificate of Title No. 85692, Document No. 451397. Subject parcel at 50 Cochituate Road, Wayland is referenced on the plan as lot A-7.*
- Wayland directories: 1931, 1933.
- Woodruff, Jay. Chairman, Archives Committee, First Parish Church in Wayland. Research in parish archives regarding the acquisition, use, sale, and moving of the Stoddard House, 50 Cochituate Road, Wayland. July 2021.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

E06-0012	Maynard		SUD.428
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Town/City: Sudbury
Place: (*neighborhood or village*):
North Sudbury

Address: 354 Maynard Road
Historic Name: Webster and Beatrice Cutting House

Uses: Present: residential
Original: residential

Date of Construction: ca. 1925

Source: deeds, newspapers

Style/Form: Colonial Revival

Architect/Builder: not determined

Exterior Material:
Foundation: concrete
Wall/Trim: brick/brick/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:
garage

Major Alterations (*with dates*):
replacement window sash (L 20th – E 21st c)

Condition: excellent

Moved: no yes **Date:**

Acreage: 0.99 acres

Setting: Located on the major east/west thoroughfare of Maynard Road. Heterogeneous residential neighborhood characterized by large suburban houses on substantial lots. The house is set on a steep slope, high above Maynard Road; its deep front setback is maintained chiefly in lawn. A fieldstone retaining wall lines part of the street frontage.

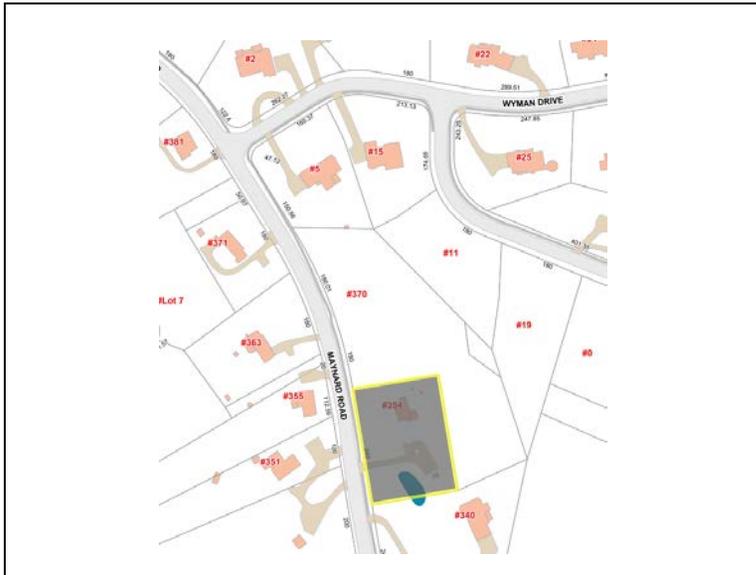
Photograph



Façade (west) and south elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

354 MAYNARD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.428

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

354 Maynard Road comprises a rectangular main block with a large sunroom attached to the back of one side. The building rises a substantial 1½ stories to a side gambrel roof; no gambrel returns. A low chimney rises from the ridgeline, positioned slightly off-center. Brick walls are laid in Flemish bond and trimmed with a cornice molding at the eaves. Windows occur singly and in pairs and triplets, are symmetrically arrayed, and have brick mold casings, soldier course lintels, and header brick sills. Windows appear typically to have replacement sash, in both 8/1 and 6/6 patterns. The three-bay façade (west elevation) has a center entrance flanked by a tri-partite window on each side on the first floor. Covering most of the front roof slope, a shed-roofed dormer features one center window flanked by paired windows. The main entrance has a semi-circular hood supported by curved brackets and a single-leaf door with 12-light sidelights. The south elevation has one window visible from the street on its first floor. Its second story contains two evenly spaced windows, and a small window or louver is centered in the gambrel peak. The view of the north elevation is limited to a corner of a one-story, hip-roofed brick-enclosed sunroom, detailed similarly to the main block.

Very well preserved and maintained, 354 Maynard Road is a stately example of early 20th century residential development in Sudbury. Notable architectural features include its large scale, substantial gambrel roof, generous dormers, uncommon use of brick (and the Flemish bond pattern in particular), symmetrical façade, variety of fenestration, use of brick sills and lintels, and freely-designed, bold main entrance.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Before its subdivision for residential development, Willis Hill on the northeast side of Maynard Road was pasture land. In 1922, farmer Webster Cutting (1900-1963) acquired 35 acres of pasture from Daniel Sherman of South Lincoln. Sherman, who owned two camps or summer cottages in Sudbury, also owned other large tracts in town. Cutting built this house about 1925. He resided on Maynard Road in 1926 with his new wife, the former Beatrice Robinson of Natick; her 1961 obituary notes she had lived in Sudbury for 36 years. The architectural style of this house is consistent with a construction date of ca. 1925. Cutting was raised across and up the road on the farm of his parents, George Frank Cutting and the former Mattie Bent, at 381 Maynard Road (SUD.132). He had moved to Natick briefly in the early 1920s, where he worked as a bank teller at the Natick Trust Company, and resided in the household of his uncle and aunt, shoe manufacturer George Felch and his wife, Loretta. Returning to Sudbury, Webster Cutting pursued farming as his occupation, and owned a piggery in the vicinity. He served on the Board of Assessors in Sudbury for many years, and Beatrice Cutting was president of the Sudbury's Women's Club and clerk of the First Parish Church.

Despite land taken for the relocation and repair of Maynard Road in 1926, 1960, and 1961, this house still occupied a parcel of just over 30 acres as late as 1961. Webster Cutting, Jr. and his wife, Gail, succeeded his parents in the house. He was planting superintendent of the family-owned Sudbury Nurseries, Inc. on Willis Hill in the early 1960s, later serving as president. He also was a member on the town's Parks and Recreation Commission. This house remained in the Cutting family until 1974. Further subdivision at that time yielded a 45,560-square foot parcel, subsequently reduced slightly to the present acreage. Sudbury Nurseries was still in business into the 1990s.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

354 MAYNARD RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.428
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Plan of Land in Sudbury, Massachusetts, owned by Webster Cutting, Jr. (November 29, 1974). David W. Perley, C. E.

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Tax valuations, Town of Sudbury: 1921.

Advertisement, Sudbury Nurseries. *Sudbury TAB* (September 24, 1991), p. 10:1.

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Cutting, Mrs. Webster (Beatrice). *The Fence Viewer*, Sudbury (May 4, 1961), 5:1.

Cutting, Webster. Obituary. *Sudbury Citizen* (March 28, 1963), p. 4:2.

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Town of Sudbury zoning map: 1938.

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USGS topographical maps: 1943, 1950 (Maynard quadrangle).

	SUD.428
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National Register of Historic Places Criteria Statement Form

Check all that apply:

- Individually eligible Eligible **only** in a historic district
- Contributing to a potential historic district Potential historic district

Criteria: **A** **B** **C** **D**

Criteria Considerations: **A** **B** **C** **D** **E** **F** **G**

Statement of Significance by Wendy Frontiero and Kathleen Kelly Broomer
The criteria that are checked in the above sections must be justified here.

The Webster and Beatrice Cutting House, 354 Maynard Road, is a fine example of early 20th century suburban development in Sudbury. Previously used as pasture land, this area was subdivided for residential development in the early 1920s. Unlike many of Sudbury’s early suburban houses, the first two owners of this dwelling (into the 1970s) were farmers whose commercial property was located nearby. Very well preserved and maintained, 354 Maynard Road is an unusually stately example of early 20th century residential development in Sudbury. Notable architectural features include its large scale, substantial gambrel roof, generous dormers, uncommon use of brick (and the Flemish bond pattern in particular), symmetrical façade, variety of fenestration, use of brick sills and lintels, and freely-designed, bold main entrance.

Retaining integrity of location, design, setting, materials, workmanship, feeling, and association, 354 Maynard Road is recommended for the National Register with significance at the local level. Information on historic interiors would be required for MHC to confirm this recommendation.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

L07-0016	Framingham		SUD.429
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Photograph



Façade (north) and west elevations.

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 206 Nobscot Road

Historic Name: Patrick Connelly House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1909

Source: deeds, maps and atlases

Style/Form: no style

Architect/Builder: not determined

Exterior Material:

Foundation: concrete

Wall/Trim: wood shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:

n/a

Major Alterations (*with dates*):

replacement window sash, south pavilion? (L 20th – E 21st c

Condition: good

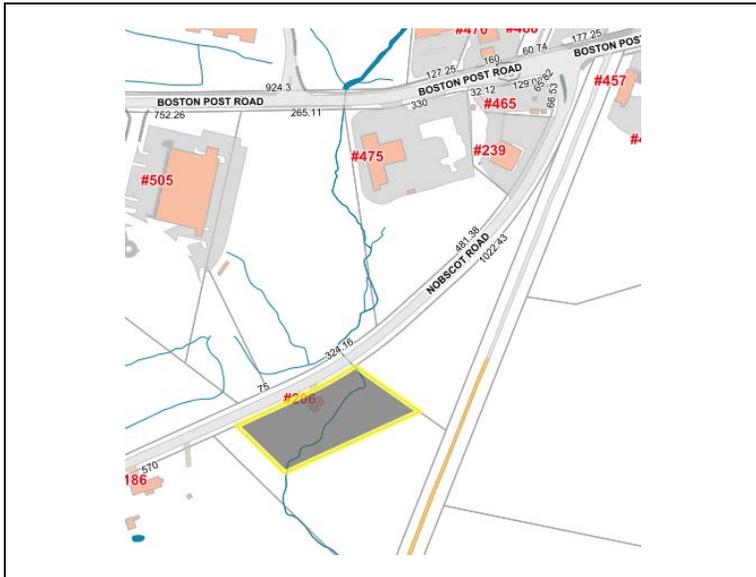
Moved: no yes **Date:**

Acreage: 1.38 acres

Setting: Located at the northern end of a main north/south thoroughfare, in a sparsely developed stretch of roadway close to the intersection with Boston Post Road. Surrounded by open marshland on three sides, and in proximity to the Old Colony Railroad Line on the east. The terrain slopes away steeply on three sides around the house.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

206 NOBSCOT RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.429

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 206 Nobscot Road is comprised of a rectangular main block, rising 2½ stories to a front-gabled roof, and a variety of compact, one- and two-story projections on the north and south elevations. No chimney is visible. Clapboard walls are trimmed by flat sill boards with a square cap, flat corner boards, and minimally molded raking eaves at the main roofline. Windows occur singly and have 6/6 replacement sash and flat trim. The long west elevation, facing Nobscot Road, is asymmetrically composed, with two windows on each story. Entries are located on the north and south gable ends. The façade (north elevation) has a one-story, shed-roofed projection across the entire elevation; at the northwest corner it encompasses a porch with a turned post and square balusters, and a single-leaf door with flat casing. The smaller, secondary entry porch at the southwest corner is similarly detailed. A windowless, two-story gabled pavilion rises up towards the back of the south elevation; its gable peak is embellished with a blind lunette surrounded by a fan pattern in the clapboards.

Well maintained, 206 Nobscot Road is an unpretentious example of rural, vernacular, late-Victorian housing in Sudbury. Notable design features include its compact scale and quiet proportions, orientation of the façade away from the street, matching corner entry porches, and spare fenestration. Further investigation of the evolution of this building's appearance is merited, to fully assess the integrity of the structure.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Patrick Connelly House is associated with two families connected to the sizable Irish Catholic community at Saxonville in Framingham. Patrick Connelly (1857-1913) and his wife, the former Margaret Delia Kelly, arrived in the United States about 1863. They settled in Sudbury by 1900, where Patrick was employed as a farm laborer. Margaret Connelly died in 1902 and is buried at Saint George's Cemetery in Framingham with her husband and one son. The Connellys were likely parishioners of Saint George's Church in Saxonville, as Sudbury's first Roman Catholic parish, Our Lady of Fatima, was not established until 1955. This house is not shown on the 1908 atlas. However, in 1909 Patrick Connelly obtained a mortgage on this property, then described as land and buildings, from the Hudson Co-operative Bank, suggesting that construction had already started. The property originally encompassed 4½ acres of meadow with a house and barn. Deeds describe the property as located on Ridge Hill Road, which became known as Nobscot Road by the 1950s.

In building this house, Patrick Connelly secured a residence for his adult children for their future. He resided here in 1910 with three of the children, all unmarried: John J., a farm laborer "working out" or employed on another's farm; Katharine F., employed as a household servant for a family; and William A., a laborer engaged in road work. The siblings stayed together in the house after their father's death in 1913. John inherited the property from their father's estate and conveyed the title in 1917 to his sister. While the 1920 census records the Connelly siblings residing on Dutton Road, this appears to be a clerical error. By that time, John was employed as a teamster on a farm, Katherine worked as a sorter in a woolen mill, and William served as a crossing tender for the railroad. William died in 1920, and Katherine had the house retitled in 1938 to joint ownership with her older brother, John. Both died in the 1940s.

Margaret Augusta (Taft) Cullinane (1902-1982) inherited the house in 1944 from the estate of John J. Connelly. She may have been a cousin to the family on her mother's side. Born in Saxonville, she met her future husband, Joseph A. Cullinane, while both were working for the *Boston Globe* in the 1920s. Joseph Cullinane started there in 1922 as an apprentice with the Boston Typographical Union, retiring from the *Globe* in 1966. The couple married in Saxonville in 1928, and moved to Sudbury about

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

206 NOBSCOT RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.429
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1938, first residing as tenants with their young son on Boston Post Road before moving to this house. Later in life, Margaret Cullinane was employed for more than 20 years by the Jordan Marsh Company at their store at Shoppers World in Framingham. After her husband's death in 1973, she conveyed the property to her son, and the house remained in the Cullinane family until 2001. A subsequent owner subdivided the parcel, creating the present house lot of 1.38 acres. The barn was demolished at an undetermined date.

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- USGS topographical maps: 1943, 1951 (Framingham quadrangle).

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

C10-0020	Maynard		SUD.148
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Photograph



West and façade (south) elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broome, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
North Sudbury

Address: 254 North Road

Historic Name: Amos Conant, Jr. House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1840

Source: census and vital records

Style/Form: Greek Revival

Architect/Builder: not determined

Exterior Material:

Foundation: granite, concrete

Wall/Trim: vinyl/vinyl

Roof: asphalt shingle

Outbuildings/Secondary Structures:

garage, shed

Major Alterations (*with dates*):

artificial siding, replacement window sash and trim, front entrance vestibule, side wings (L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 1.38 acres

Setting: Located on a major east/west thoroughfare, in a heterogeneous residential neighborhood characterized by widely spaced houses on large lots. The house stands on a flat lot with a generous front setback that is maintained chiefly in lawn.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

254 NORTH RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.148

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

254 North Road consists of a front-gabled main block and two substantial, gabled additions to one side. Walls are clad with vinyl siding and trim. Windows typically occur singly and have 6/6 replacement sash and vinyl trim. The main block rises 2½ stories to a pedimented gable end; a chimney rises above the west slope of the roof, near the center of the ridgeline. The three-bay façade has an offset entrance with a shallow entry vestibule capped by a gable roof without returns. Inside the vestibule, a single-leaf door has half-height sidelights. A single window is centered in the tympanum of the façade. The west elevation has four windows on the first floor, loosely grouped in pairs; two grouped windows towards the front of the second story; and a pair of modern casement windows towards the back of the second floor. A two-story, perpendicular wing is co-planar with the façade on the east side. Its second story overhangs the first; each floor has two windows facing the street. The broad gable-end of this wing has minimal gable returns, one window on the second floor, and one positioned off-center in the gable peak. Rising two stories from a poured concrete foundation to a side gable, the easternmost wing is set well back from the adjacent construction. It features three asymmetrical window bays across the front and one centered on its gable end. An offset doorway on the western end of its second floor is accessed by a modern wood stairway.

Well maintained, 254 North Road is interesting as an example of early 19th century residential development in Sudbury. Notable architectural features include its relatively large size, pedimented front gable, and three-bay façade. Extensive additions and alterations to massing, materials, and window sash significantly detract from the building's historic integrity.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

A vestige of historic agricultural activity in North Sudbury, this house was apparently built by Amos Conant, Jr. (1805-1853) in the 1830s or 1840s. His grandfather, Silas Conant (1747-1836), had come from Stow to Sudbury, settling in this small crossroads community in 1782. Before his untimely death of apoplexy at the age of 48, Amos Conant, Jr. maintained a farm of 70 acres, forty of which were improved for growing crops and grazing cattle. In the year ending June 1, 1850, his farm produced 15 bushels of rye, 75 bushels of Indian corn, 50 bushels of oats, 200 bushels of Irish potatoes (sweet potatoes were enumerated separately), 300 pounds of butter, 200 pounds of cheese, and 25 tons of hay. The 1856 atlas attributes the farm's ownership to the A. Conant Estate. His widow was the former Elizabeth (Eliza) Stone.

Youngest son John M. Conant continued the farming tradition, maintaining a dairy farm here through the turn of the 20th century. He and his wife, Lucretia R. Richards, raised four children in this house. John Conant served as a Sudbury selectman and assessor. One or two farm laborers lived with the Conant family through the late 19th century; others likely lived in the area. The 1880 agricultural census records John M. Conant with a 72-acre farm: 30 acres tilled, 12 acres of meadow, and 30 acres of woodland. In the year ending in June 15, 1880, the farm's sixteen milch cows produced 8,000 gallons of milk for sale, and 21 heads of poultry produced 150 dozen eggs. Conant also maintained three acres of cornfields, one acre planted with Irish potatoes, and one acre with 100 apple trees, in addition to producing thirty tons of hay. John and Lucretia Conant retired to the Nobscot section of Framingham by 1904.

Edward Lenzi and his brother, Vincenzo, purchased the Conant farm by 1908, relocating to Sudbury from East Boston, where previously Edward had worked as a night watchman. Born in Avellino, Italy, Edward (Eduardo) Lenzi immigrated to the United States in 1885. He and his wife, Julia, raised nine children in Sudbury. In 1921, Julia Lenzi was assessed for 65 acres, a house, barn, cider and grist mill, shop, and corn barn, along with livestock that included eight cows and 60 heads of poultry.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

254 NORTH RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.148
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Historic outbuildings on the farm were demolished at an unknown date. The family ran the farm until the late 1920s, when they moved to Maynard.

The house was reportedly occupied as a nursing home in 1967 (see earlier inventory form), and the east wing may have been added about that time. The 1969 resident list indicates the building was then converted to a two-family dwelling. Residents recorded that year were Denver G. Cearley, an engineer, and his wife, Betty, along with David L. Johnson, a technician, and his wife, Loy [*sic*], who was employed as a sales clerk.

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- Sudbury maps: 1830.
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- Town of Sudbury zoning map: 1938.
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FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

C09-0304	Maynard		SUD.430 SUD.431
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Town/City: Sudbury
Place: (*neighborhood or village*): North Sudbury

Address: 380 North Road

Historic Name: Hermann and Camilla Bergner House and Garage

Uses: Present: residential

Original: residential

Date of Construction: ca. 1924-1930

Source: deeds, directories

Style/Form: Colonial Revival/Four Square

Architect/Builder: not determined

Exterior Material:

Foundation: fieldstone

Wall/Trim: clapboard, wood shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures: garage

Major Alterations (*with dates*):

Replacement window sash? (L 20th – E 21st c)

Condition: excellent

Moved: no yes **Date:**

Acreage: 0.99 acres

Setting: Located on a major east/west thoroughfare in a heterogeneous residential neighborhood characterized by widely spaced houses on large parcels. The house stands on a generally flat lot with a deep front setback that is maintained chiefly in lawn.

Photograph



Northwest and façade (southwest) elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

380 NORTH RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.430,
SUD.431

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

380 North Road is a simple cubical volume with a small side entry vestibule. The house rises two stories to a hip roof with hipped dormers on the front and northwest side. A chimney appears to rise from the rear roof slope, near the peak. Clapboard walls are trimmed with a flat sillboard having a beveled cap on the façade only, flat corner boards, and a flat fascia with narrow crown molding. Windows typically occur singly, are regularly arrayed, and have 6/6 (possibly replacement) sash with flat casings. The two-bay façade has an offset entrance with a single-leaf door, narrow half-height sidelights, slender grooved pilasters, and a peaked lintel. Façade fenestration consists of a tri-partite window on the first floor, two windows on the second floor, and a dormer with a single window centered on the front roof slope. The symmetrical southeast elevation has two widely spaced windows on each floor; no dormer. The more utilitarian northwest elevation has a small hip-roof vestibule appended to the rear, with a door facing front and a window facing the side. The first floor of this elevation also includes a horizontal, eight-light window towards the front and a typical window in the middle. The second floor has two typical windows towards the front and a smaller, 1/1 window towards the back. The dormer centered on the northwest slope of the roof has paired windows.

Positioned to the northwest of the house is a two-bay garage, a square structure with a hip roof, clapboard siding with flat trim, and paired windows centered in its northwest elevation.

Well preserved and well maintained, 380 North Road is a good example of unpretentious, early 20th century residential development in Sudbury. Notable architectural features include the building's simple massing, hip roof and hipped dormers, intact fenestration, and original or early garage.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

In the early 20th century, a number of immigrants employed in manufacturing jobs in eastern Massachusetts cities came to Sudbury to pursue farming. Hermann and Camilla (Boeske) Bergner lived in this house from the mid- to late 1920s to 1944. Both were born in Saxony, Germany, and arrived in the United States as children, in 1869 and 1882, respectively. In 1894, they married in Brooklyn, New York and soon relocated to Lawrence, where Hermann was employed as a weaver in a woolen mill. In 1920, the Bergners purchased land on both sides of the intersection of North Road and Haynes Road, totaling about 32 acres. Since the Bergners were listed as non-residents – owning land only – in the town's 1921 tax valuation, and continued to be listed in Lawrence city directories until 1924, it seems they did not move to Sudbury until some time between 1924 and 1930, when they had this house built on their 25-acre parcel on the north side of the road. Hermann Bergner was employed as a farmer with a general farm in 1930. Later in life he worked as a laborer for the Town of Sudbury.

While this house could predate 1924, earlier deeds do not explicitly note the presence of a building, and no building is shown on the 1908 atlas. Hermann and Camilla Bergner purchased their farm in 1920 from Mary J. Fitzpatrick, wife of Edward Fitzpatrick of Waltham. In two deeds, Mrs. Fitzpatrick conveyed her one-third interest in the property, along with the two-thirds interest of Patrick J. C. McGuire, formerly of Sudbury, for whom she served as guardian. The 1900 census and Sudbury directories from 1904 to 1913 list Patrick McGuire, a farmer, residing at North Sudbury, but the precise location of his residence is not clear.

The 25-acre house parcel at 380 North Road remained intact until 1960, when Ferigno & Walker Builders, Inc. of Ashland subdivided the property for residential development. The company sold the Bergner House in 1961 to Ivan W. Wentworth and Elizabeth Wentworth of Natick. A contractor by occupation, Ivan Wentworth was appointed Deputy Building Inspector for the

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

380 NORTH RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.430,
SUD.431

Town of Sudbury in 1967. Elizabeth Wentworth was employed in 1969 as a librarian. The house remained in the Wentworth family until 1975.

BIBLIOGRAPHY and/or REFERENCES

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Tax valuations, Town of Sudbury: 1890, 1921.

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Bergner, Herman F., and Kamilla [sic] Boeske. *Marriage record, Kings County, New York (July 3, 1894)*. New York, New York, U. S., Extracted Marriage Index, 1866-1937.

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SUPPLEMENTARY IMAGES



Garage and house: Northwest and façade (southwest) elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

H09-0058	Maynard	SUD.A, J	SUD.159
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

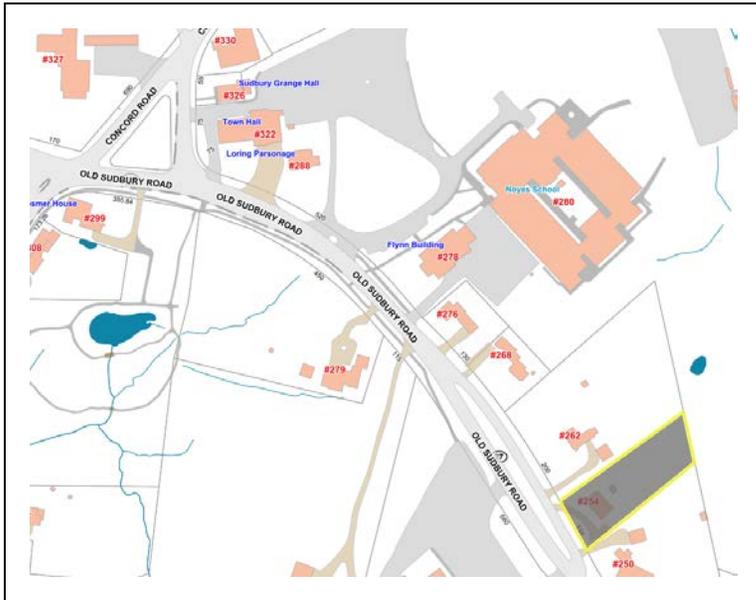
LHD 02/18/1963
 NRDIS 07/14/1976

Photograph



Façade (southwest) and southeast elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*): Sudbury Center
Address: 254 Old Sudbury Road
Historic Name: William Davison Carriage House - Gelpke House
Uses: Present: residential
 Original: carriage house
Date of Construction: ca. 1921
Source: deeds, 1921 tax valuation
Style/Form: Medieval Revival
Architect/Builder: see narrative
Exterior Material:
 Foundation: stone
 Wall/Trim: clapboard/wood
 Roof: garage
Outbuildings/Secondary Structures: shed
Major Alterations (*with dates*): conversion to residential use (ca. 1961)

Condition: excellent
Moved: no yes **Date:**
Acreage: 0.68 acres

Setting: Located on a major east/west thoroughfare, close to the historic town center. Mixed-use, predominantly residential neighborhood with heterogeneous development that is widely spaced on large lots. The lot slopes up gently from the street, with a deep front setback that is maintained chiefly in lawn.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

254 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.159

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

254 Old Sudbury Road is a large rectangular building, rising 1½ stories to a side gable roof without gable returns. A large chimney is centered on the ridgeline. Walls are sheathed with clapboards and trimmed with flat cornerboards and fascia. Windows most typically occur singly, have flat trim, and appear to have 12/1 sash. The three-bay façade (southwest elevation) is dominated by its center bay, which contains a steep cross-gable that contains a small, double-hung, diamond-paned window with a bold cornice. The center entrance has a Connecticut Valley-style enframing around a single-leaf door, with pilasters, pillowed entablature, and broken-scroll pediment. Large, angled bay windows (of slightly different width) with multi-paned sash flank the entrance on each side of the façade. The southeast elevation of the building has three windows and a utilitarian doorway asymmetrically positioned on the first floor; three tightly spaced windows are centered in the half-story. The symmetrical northwest elevation has three evenly spaced windows on the first floor, the middle window is recessed within a niche that is ornamented with two vertical bands of geometric fretwork. Paired windows are centered in the half-story of this gable end. A shed-roofed dormer is visible on the rear roof slope at the northern end of the building.

The antiques dealer/preservationist Robert Desjardin (see narrative below) likely reconfigured the fenestration on the façade in his conversion of the building to a residence, adding the reproduction Connecticut Valley doorway enframing, bay windows, and multi-paned window sash.

Very well preserved from its 1960s adaptive re-use and very well maintained, 254 Old Sudbury Road is a bold, singular example of Medieval Revival architecture in Sudbury. Notable architectural features include the building's clear, simple massing; prominent center chimney; original materials and fenestration; variety of windows; careful detailing; and prominent center-entrance bay.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Known locally as "The Olde Carriage House," this dwelling was associated with owners and residents of the Rev. Jacob Bigelow Parsonage, 250 Old Sudbury Road (1773, SUD.159) next door until 1964, when the parsonage house lot was subdivided, creating a separate lot for the carriage house. The Rev. Allen J. Hall and his wife, Sarah, owned the Bigelow Parsonage at the turn of the 20th century. In 1914, the Halls sold their farm to William Davison of Cambridge, and three generations of the Davison family relocated to Sudbury to pursue farming. William Davison died in Sudbury in 1921. His son William E. Davison, known as Ethan, took over the family farm. He was a former cabinetmaker in Cambridge. The 1921 tax valuation assessed to William C. Davidson [sic] a "new carriage house" that appears to be the subject building. Ethan Davison was Sudbury's first Fire Chief. His wife, Ella Frye Davison, was very active in the Sudbury Methodist Church, serving as treasurer of the Church, secretary of the Sunday school, communion steward, and lay delegate to the New England Annual Conference of Methodist Churches. The Davisons sold seven acres of their farm in 1955 to the Methodist Church for construction of a new church complex at 251 Old Sudbury Road (1957-1963, SUD.70).

In 1957 Robert Desjardin of Upton, Massachusetts, purchased the Bigelow Parsonage house lot of just over two acres, including this carriage house, from heirs of Ethan and Ella Davison. He and his wife, Grace E. (Gelpke) Desjardin, completed much of their restoration of the Bigelow Parsonage by January 1962. They then converted the carriage house to a residence for Grace Desjardin's parents, to be connected to the main house by a colonnaded garage and breezeway reminiscent of the carriage sheds at the First Parish Church. While Robert Desjardin was granted a variance from the Board of Appeals in 1961 to allow a

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

254 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.159

second residence on the property, it appears the colonnaded connection between the parsonage and carriage house was not built. From 1961 to 1964, the Desjardins owned the parsonage house lot in common with Grace's parents, William J. and Grace M. Gelpke, who moved to Sudbury from Wellesley. In 1964, the Gelpkes took title to the newly created carriage house parcel. William J. Gelpke was a salesman in the tea and coffee trade, while Grace M. Gelpke was active in the Sudbury Garden Club and a member of the Historic Districts Commission. Their son, William E. Gelpke, was employed in 1969 as an accountant. After her husband's death, Grace M. Gelpke operated an antiques shop here into the 1970s.

An interior designer, antiques dealer, preservationist, and entrepreneur, Robert Desjardin (1929-1982) was born in Worcester, where he attended the Worcester Museum School and Clark University. He specialized in architectural design for church interiors, working as chief designer for Gothic-Craft of Northborough. In Sudbury, Desjardin designed the original Village Green shopping center at 29 Hudson Road and most of the neo-Colonial houses in the Bowker Land Grant off Peakham Road in the vicinity of Robert Best Road. He was chairman of the Sudbury Commission on Historic Structures (pre-cursor to the Sudbury Historical Commission) and a member of the Historic Districts Study Committee. In addition to restoration of the Bigelow Parsonage, in the 1960s Desjardin was active in planning the exterior restoration of the Loring Parsonage, then still known as the Haynes House, for town office space, and designed the interiors for the restoration of the First Parish Church, a project directed by Sudbury architect Charles Way. In 1968, Desjardin and business partner Howard Porter of Framingham, doing business as Restorations Unlimited, moved the Daniel Greenwood House, 208 Old Sudbury Road (ca. 1730, SUD.164), from Millbury and restored the dwelling. Desjardin also opened the Gallerie Desjardin, an architectural and decorating firm, in 1973. Grace Desjardin was a research scientist at Tufts University, a teacher in Wayland, and an interior decorator in Sudbury.

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- "Report of Board of Appeals – Zoning." *Town of Sudbury Annual Report* (1961), p. 147.
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- Davison, Ella Frye. Obituary. *Sudbury Citizen* (April 5, 1956), 4:3.
- Desjardin, Robert P. Obituary. *Fence Viewer*, Sudbury (December 23, 1982), 4:1.
- "Even renovations are old in Loring Parsonage, now a town office building." *Fence Viewer*, Sudbury (April 18, 1963), 1:1.
- "First Parish Church has been completely restored." *Fence Viewer*, Sudbury (January 26, 1961), 5:4.
- Johnson, Roy. "In Sudbury's historic district. Newest addition among the oldest [Greenwood House]." *Boston Globe* (1960-1989); February 9, 1969; ProQuest Historical Newspapers: The Boston Globe, p. B67.
- Middlesex South Registry of Deeds: 2690:449 (1898), 3880:401 (1914), 6554:595 (1941), 6554:597 (1941), 9077:8 (1957), 10701:280 (1964).
- "Mr. and Mrs. Desjardins have brought life to old house in Sudbury Center." *Fence Viewer*, Sudbury (January 11, 1962), 1:3-4.
- "Shopping center stirs controversy at HDC." *Sudbury Citizen* (August 7, 1969), 1:6.
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- Various references to Grace M. Gelpke. Sudbury Newspaper Archive. <http://sudbury.advantage-preservation.com>. Accessed May 2021.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

254 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J	SUD.159
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SUPPLEMENTARY IMAGES



Detail of center bay on the façade.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

H09-0059	Maynard	SUD.A, J	SUD.158
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

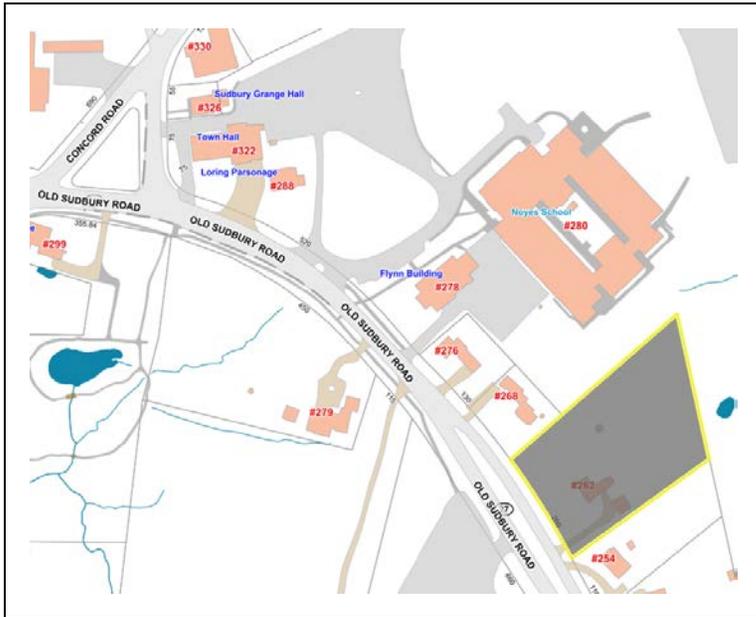
LHD 02/18/1963
 NRDIS 07/14/1976

Photograph



Town/City: Sudbury
Place: (*neighborhood or village*): Sudbury Center
Address: 262 Old Sudbury Road
Historic Name: Clara L. Ferden House
Uses: Present: residential
 Original: residential
Date of Construction: 1880s
Source: atlases, tax valuations
Style/Form: Queen Anne/Italianate
Architect/Builder: not determined

Locus Map



Exterior Material:
 Foundation: stone, concrete
 Wall/Trim: wood shingle, clapboard/wood
 Roof: asphalt shingle
Outbuildings/Secondary Structures: barn (post 1964)

Major Alterations (*with dates*):
 Original front entrance likely on façade (changed E 20th c?)
 – wood shingles on façade (L 19th – E 20th c) – window sash (L 20th – E 21st c?)

Condition: good
Moved: no yes **Date:**
Acreage: 1.99 acres

Setting: Located on a major east/west thoroughfare, close to the historic town center. Mixed-use, predominantly residential neighborhood with heterogeneous development that is widely spaced on large lots. The lot slopes up gently from the street, with the house set on a flat berm. The building's deep front setback is maintained chiefly in lawn.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

262 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.158

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

262 Old Sudbury Road is an L-shaped building with a rectangular main block and rear ell. The main block rises 1½ stories to a side-gable roof without gable returns; a small chimney rises from the front slope of the roof, near the center point of the volume. Walls are clad with wood shingles on the façade (southwest elevation) and wood clapboards on the side elevations, and are trimmed with flat corner boards and a wide fascia on the façade. Windows typically occur singly and have 6/6 sash with flat casings. The façade is dominated by a large cross gable in the center, which features a single center window and decorative wood shingles; an angled bay window is centered below on the first floor. It appears that the paired windows with band molding originally flanked the bay window on both sides of the first floor; one of the window openings on the north end now contains a single-leaf door. Centered in the half-story on the outer bays of the facade is a small six-light window. The northwest elevation has two windows on the first floor and three in the half-story, of varied sizes. The southeast elevation of the main block has a single-leaf doorway towards the front, behind a shed-roofed porch with square Tuscan posts and railings with square balusters. Two windows are positioned towards the rear on the first floor. The half-story of this elevation has one center window and a smaller window to the rear. Co-planar with the main block, the rear ell rises one story to a gable roof. Its southeast elevation has a raised eave line adjacent to the main block and two windows towards the rear.

Well preserved and well maintained, 262 Old Sudbury Road is a lively, vernacular example of late 19th/early 20th century residential development in Sudbury. Notable architectural features include the cross-gable, bay window, and half-story windows on the façade, a variety of surface materials and textures, and the simple porch and informal fenestration on the side elevations.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house may have originally been a barn built for the heirs of George Goodnow (1818-1881), and converted to a dwelling between 1912 and 1920. The 1908 atlas shows a barn in this approximate location, associated with the former Goodnow residence then owned by the Rev. Allen J. Hall, and known today as the Rev. Jacob Bigelow Parsonage, 250 Old Sudbury Road (1773, SUD.159). If the barn on the 1908 atlas is the subject property, the correct owner of the barn in 1908 was Georgeanna Goodnow (1846-1911), a daughter of George Goodnow and his wife, Ann. Miss Goodnow, then residing in Summerland, Santa Barbara County, California, had already sold the family home and most of her parents' farm to Rev. Hall ten years earlier [Middlesex South deeds, 2690:449 (1898)].

From 1912 to 1939, Clara L. Ferden owned this property in a trust set up for the benefit of her younger son, Roscoe Thomas Ferden, who would receive income from any rents or sale. She acquired the property as trustee in a "private sale" from the estate of Georgeanna Goodnow. It seems likely that Clara Ferden was known to the Goodnows. Clara L. (Reid) Ferden (1861-1956) was born in Nova Scotia and came to Sudbury with her family at age 10, attending the Landham School and Wadsworth Academy. By age 18, she was employed as a housekeeper in the home of farmer Elisha E. Smith. She married William M. Ferden, also a farmer, in 1880. The Ferdens resided first on Concord Road near Plympton Road, moving to Old Sudbury Road, likely this house, after 1920. Their older adult son, Delmont E. Ferden, was a carpenter by trade, who could have been involved in the renovations to this building if the present dwelling was converted from a barn. Clara Ferden was a member of the Sudbury Methodist Church and a recipient of Sudbury's Boston Post cane, presented to the town's oldest resident beginning in 1909. Women became eligible to receive the cane in 1930.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

262 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.158

Edward F. Moynihan and his wife, Doris W. Moynihan, acquired the house from Clara Ferden in 1939, moving to Sudbury from Waltham. Moynihan was a Certified Public Accountant, and worked with the firm of John J. Harrington in Waltham in the 1940s. The 1942 tax valuation records the Moynihans with a house, cow stable, and hen house, suggesting they may have engaged in some small-scale farming as well. The property remained in the Moynihan family until 2003.

BIBLIOGRAPHY and/or REFERENCES

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SUPPLEMENTARY IMAGES



Northwest and façade (southwest) elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

H09-0060	Maynard	SUD.A, J	SUD.157
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MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

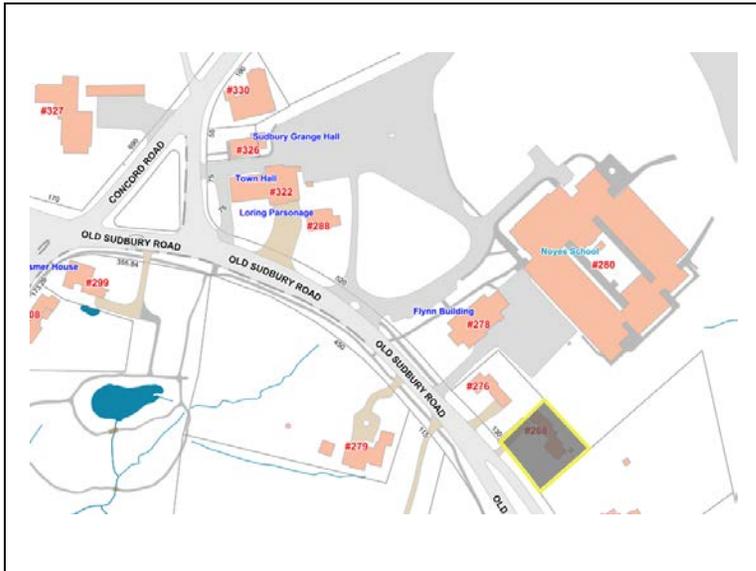
LHD 02/18/1963
NRDIS 07/14/1976

Photograph



Northwest and façade (southwest) elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broome, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
Sudbury Center

Address: 268 Old Sudbury Road

Historic Name: Methodist Church Parsonage

Uses: Present: residential
Original: residential

Date of Construction: ca. 1870 [?]

Source: atlases, visual inspection

Style/Form: Italianate

Architect/Builder: not determined

Exterior Material:

Foundation: granite, concrete

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
shed

Major Alterations (*with dates*):
bay windows on façade? (mid-19th c?) – demolition and replication of kitchen wing and barn (1990) - replacement window sash, infilled barn door (L 20th – E 21st c)

Condition: good to excellent

Moved: no yes **Date:**

Acreage: 0.50 acres

Setting: Located on a major east/west thoroughfare, close to the historic town center. Mixed-use, predominantly residential neighborhood with heterogeneous development that is widely spaced on large lots. House stands on a high berm with a moderate front setback that is maintained chiefly in lawn. A modern fieldstone retaining wall lines the base of the berm in front of the main house.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

268 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.157

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

268 Old Sudbury Road consists of a main block with a chain of side ells and attached barn. Walls are sheathed with clapboards and trimmed with flat corner boards and a narrow fascia with crown molding. Windows typically occur singly and have 6/6 sash with flat casings. Three bays wide by one bay deep, the main block rises 2½ stories to a side-gable roof without returns. Decoratively sawn verge boards line the raking eaves on the gable ends, and a chimney projects from the center of the rear slope of the roof, near the ridgeline. On the first floor, the façade (southwest elevation) contains a center entrance flanked by two rectangular bay windows, all joined by a low-pitched hip roof. The entrance features a single-leaf door with a pair of round-arched glass panes and half-height sidelights; it is framed by decorative pilasters and bulls-eye corner blocks at the top. Three windows are symmetrically arrayed across the second story of the facade. The symmetrical southeast elevation of the main block has one window on each floor, including a round-arched window in the half-story. The northwest elevation is similarly fenestrated, except that the first floor window is offset towards the front. The immediately adjacent ell rises 1½ stories to a side-gabled roof with decoratively sawn vergeboards. Its three-bay façade has an offset entrance with an elaborately carved hood and a single-leaf door. The knee wall of the half-story has small two-light windows centered over the two first floor windows below. The northwesternmost ell is also three bays long, with a ridgeline lower than the inner ell. Its façade displays an offset entrance, 1/1 windows on the first floor, and single-light windows in the half-story knee wall; a low chimney rises from the outer end of the rear slope of the roof, near the ridgeline. The entrance features a single-leaf door with flat casings; the half-story windows have what appears to be modern stained glass inserts.

The barn attached to the end of this grouping rises 2½ stories to a front-gabled roof with modest gable returns. The asymmetrical façade contains an offset barn door opening at the fully exposed basement level, two slightly asymmetrical windows at the second floor, and a small window centered in the gable peak. The only fenestration visible on the northwest elevation is what appears to be a pedestrian door with flat casings near the front.

Well preserved and well maintained, 268 Old Sudbury Road is a spirited vernacular example of late 19th century residential development in Sudbury. Notable architectural features include the massing of multiple volumes, intact rooflines (without added dormers), intact fenestration (including round-arched windows in the main block and knee wall windows), locally uncommon verge boards, conservative three-bay façade of the main block, unconventionally connected bay windows and entrance, the free-style main doorway enframing, and the door hood on the inner ell's entrance.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Historic atlases indicate the parsonage for the Methodist Episcopal Church occupied this site from at least 1875 through the late 19th century, during which time George Goodnow (1818-1881) and then his widow, Ann, owned the property. The Goodnows were prominent in church affairs, and resided nearby at 250 Old Sudbury Road (1773, SUD.159). Their daughter, Georgeanna Goodnow (1846-1911), bequeathed this house to the Church for continued use as a parsonage, and the Church held the title until 1945. Resident pastors in the 20th century included the Revs. George H. Clarke, Paul M. Hillman, Clair G. Davis, and A. G. Williamson. When the house served as a parsonage, the Methodist church was located at 330 Concord Road (1836/1896, SUD.105, now the Presbyterian Church in Sudbury). The Church moved in 1959 to 251 Old Sudbury Road (SUD.70), where a substantial new complex, including a parsonage, was constructed between 1957 and 1963 [Hudson, 472-475; SUMC, 20, 22-23, 33].

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

268 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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SUD.157

William Murray Stearns (1903-1983) and his wife, Ethel (1904-1988), purchased this property in 1945, moving here from Dutton Road. Murray Stearns was employed as a quality control technician in an undetermined field. Ethel (Wells) Stearns was active in the Methodist Church and the Women's Club. A resident of Sudbury since the early 1920s, she was a descendant of the Perry and Rice families of Sudbury. The house remained in the Stearns family until 1989.

As viewed from the public way, the main block of this house has a stone foundation that could upon closer inspection prove to be consistent with a mid-19th century construction date, after which the house might have been modified with the addition of bay windows. Building footprints illustrated in the 1875 and 1889 atlases appear to be comparable to this house. It is not clear whether this is the same dwelling owned by farmer J. Parker Fairbank in 1858, per the county map of that year; additional deed research may confirm. The 1908 atlas shows Frank H. Hadley as the property owner, when he would have been a tenant of Georgeanna Goodnow. Hadley was employed as a railroad section foreman. He and his wife, Loretta, had seven children, five of whom still resided with them in the first decade of the 20th century.

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SUPPLEMENTARY IMAGES



Façade (southwest elevation) of main block.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

H09-0062	Maynard	SUD.A, J	SUD.155
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LHD 02/18/1963
NRDIS 07/14/1976

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Photograph



Façade (southwest) and southeast elevations.

Locus Map

↑
north

see continuation sheet

Town/City: Sudbury

Place: (*neighborhood or village*):
Sudbury Center

Address: 278 Old Sudbury Road

Historic Name: Center School –
Sudbury High School

Uses: Present: municipal offices
Original: public school

Date of Construction: 1891

Source: Sudbury Historical Society

Style/Form: Queen Anne and Colonial Revival

Architect/Builder: Alberto F. Haynes, archt. –
James Miles & Son, builder for the addition

Exterior Material:

Foundation: brick, concrete

Wall/Trim: wood shingle, clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
n/a

Major Alterations (*with dates*):
rear addition (1926) - removal of original front doors, added and enlarged windows (ca. 1960s?) - replacement window sash (L 20th – E 21st c)

Condition: good

Moved: no yes **Date:**

Acreage: on 27.16-acre parcel with multiple buildings

Setting: Located on a major east/west thoroughfare at the historic town center. Mixed-use neighborhood with heterogeneous development that is widely spaced on large lots. Part of a larger parcel of municipal buildings at intersection of Concord Road and State Route 27 (Old Sudbury Road). Deep front setback slopes up from the street, maintained chiefly in lawn. Paved driveways and surface parking surround the building on three sides. A low stone retaining wall lines the street edge.

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

278 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.155

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

278 Old Sudbury Road consists of a T-shaped front block and a large rectangular rear addition that narrows down at the back. The front block rises two stories from a raised brick basement to a generous hip roof. Two sizeable chimneys rise at the ridgelines where the front pavilion intersects the main roof. The first floor has clapboard siding. The second floor, which flares out slightly at the base, has a band of clapboard siding at the top and decorative shingles below. Wall trim includes molded sill boards, flat corner boards at the clapboard portions of the wall, molded belt courses between the first and second floors and between the shingled and clapboard portions of the second story, and a flat fascia with crown molding at the eaves. Exposed rafter ends are decoratively sawn. Windows occur singly and in groups of two and three and typically have 9/2 replacement sash and flat trim. Original window sash was 9/2. The symmetrical façade (southwest elevation) has a large center pavilion. Its first floor is dominated by a wide, curved, shed-roofed hood supported by carved brackets. Paired windows are presently set below the hood, replacing the original double-leaf entry doors. The second floor of the pavilion features three sets of paired windows on the facade. The gable peak has shingled brackets supporting the raking fascia and a paneled tympanum with a semi-circular lunette. The side wings of the main block have a triplet of windows on each floor of the facade. The symmetrical side elevations of the main block contain three evenly spaced windows on each floor.

The rear addition rises two stories above a poured concrete foundation to a flat roof. Clapboard walls are trimmed with capped sill boards and a heavily molded cornice. Its façade (southeast elevation) has two two-story entrance pavilions (likely later alterations), adorned with rusticated wood siding and tall, shallow porticos comprised of Doric columns, a full entablature ornamented with modillion blocks, and a semi-circular pediment, also with modillion blocks. The entries have modern metal and glass storefront doors, large multi-pane transoms, and band molding. Centered above each entrance portico is a large round-arched window set on a flat wood plinth with console bracket trim on each side. Four 12/12 windows with flat trim are positioned between the entrance pavilions on each floor. The southeast elevation of the rear block is continuous with the front block of the building. The northwest elevation of the rear block, however, steps back slightly from the front block; it contains seven windows on each floor, in a pattern of 1-5-1. The narrow end of the rear block is two bays long by three bays wide.

Generally well preserved and well maintained, 278 Old Sudbury Road is a fine and rare example of civic architecture in Sudbury in the late 19th and early 20th centuries. Notable architectural features include the large scale of the building, its T-shaped original massing with a prominent roof, sympathetically scaled and massed rear addition, variety of surface textures and materials, front door hood, tympanum ornament, and sophisticated Colonial Revival detailing of the rear block. Significant alterations have occurred in the increase of the number and size of windows on the façade and southeast elevations.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Opened in 1891 as the new Center School, and the only building associated with Sudbury High School before a regional high school system was established with Lincoln in 1954, this former school building has a long history of municipal uses and is an important example of late 19th-century institutional construction in Sudbury. A 1960 newspaper account describes this building as the "Center School plus the old white building," an apparent reference to the white paint color of the 1926 rear addition. No longer used as a school by the fall of 1964, local residents referred to the building in its entirety as the White Building, though the date the entire building was painted white has not been determined. The original color scheme has not been determined; a paint analysis is recommended. The White Building was renamed for Alan F. Flynn as a tribute to the beloved former Sudbury

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

278 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

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High School principal shortly after his death in October 1976. Flynn also served the Sudbury public schools as a math and science teacher, athletic coach, guidance director, and driver education teacher during his tenure with the town from 1927 until his retirement in 1960.

Designed by Alberto F. Haynes ["Report of the School Committee," 67], this four-room schoolhouse for primary and grammar students was dedicated Saturday, April 18, 1891, and classes started the following Monday. This building superseded the previous Center District schoolhouse, which the town sold at public auction in May 1891 to the Sudbury Grange No. 121 (see form for [324-326 Concord Road](#)). The School Committee subsequently acknowledged the new schoolhouse was "large enough for the entire school population of the town as now constituted" [Garfield, 16]. Curtis F. Garfield in his town history, *Sudbury 1890-1989. 100 Years in the Life of the Town* (1999), describes the lengthy controversy in the 1890s surrounding the consolidation of the town's district schools into a centralized public school system under the supervision of a professional school superintendent.

This building also housed Sudbury High School from its inception in September 1892 through June 1956. Enrolled in the new program in 1892, and originally housed in the larger of two classrooms on the second floor, were 34 pupils representing every school district in town. Sudbury was one of only sixty municipalities in the Commonwealth that offered a high school program in the 1890s; the town's population was sufficiently small that a separate high school was not required. Students desiring secondary education previously attended high schools in the more populous towns of Waltham or Framingham [Garfield, 16]. Population growth and the community's eventual acceptance of consolidating school system operations necessitated construction of a two-story rear wing on the Center School in 1926, built by James Miles & Son Company of Worcester. (The architect has not been determined). This wing opened for classes in the spring term of 1927, at which time 123 students were enrolled at this school in grades one through eight, and another 50 students in the High School program ["Historian"]. Sudbury and Lincoln established a regional high school at 390 Lincoln Road that opened in September 1956. Until then, Lincoln students attended high schools in neighboring towns. The regional high school opened with 182 students from Sudbury, 64 from Lincoln, and one tuition-paying student from another town.

With the opening of Curtis Junior High School (now Middle School) on Pratts Mill Road in the fall of 1964, this town center building was no longer needed for classroom space. By 1969, the building was renovated for town offices, both for the School Department as well as other departments relocated from the then-overcrowded Town Hall.

Architect Alberto F. Haynes (1849-1926) of Watertown had Sudbury roots but was born in Waltham, the son of Zebediah and Sarah (Moody) Haynes. The 1860 census shows young Alberto residing in the Sudbury home of his grandparents, Israel and Mary (Gleason) Haynes, before he moved with his mother and sisters to Watertown by 1870. Alberto Haynes trained as a draftsman in the Boston architecture firm of Shepard S. Woodcock in the 1870s and early 1880s, while employed as a reporter for *The Boston Globe* from 1879 to 1889. He apparently devoted his professional career to architectural design in 1890, maintaining offices in Watertown and Boston. MHC's MACRIS database currently identifies 42 buildings designed by Haynes, including 35 in Watertown, most in Victorian eclectic, Richardsonian Romanesque, and Colonial Revival styles. His commissions included churches in South Acton, West Concord, and Watertown; fire houses in Framingham and Watertown; several commercial blocks; and numerous residences. Alberto F. Haynes also designed the Revolutionary War Monument (1896, SUD.903) at Sudbury's Mount Pleasant Cemetery, which honors the town's soldiers and sailors who served in that war. In 1892, Haynes donated a Howard clock to the town for use in the high school classroom of the Center School.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

278 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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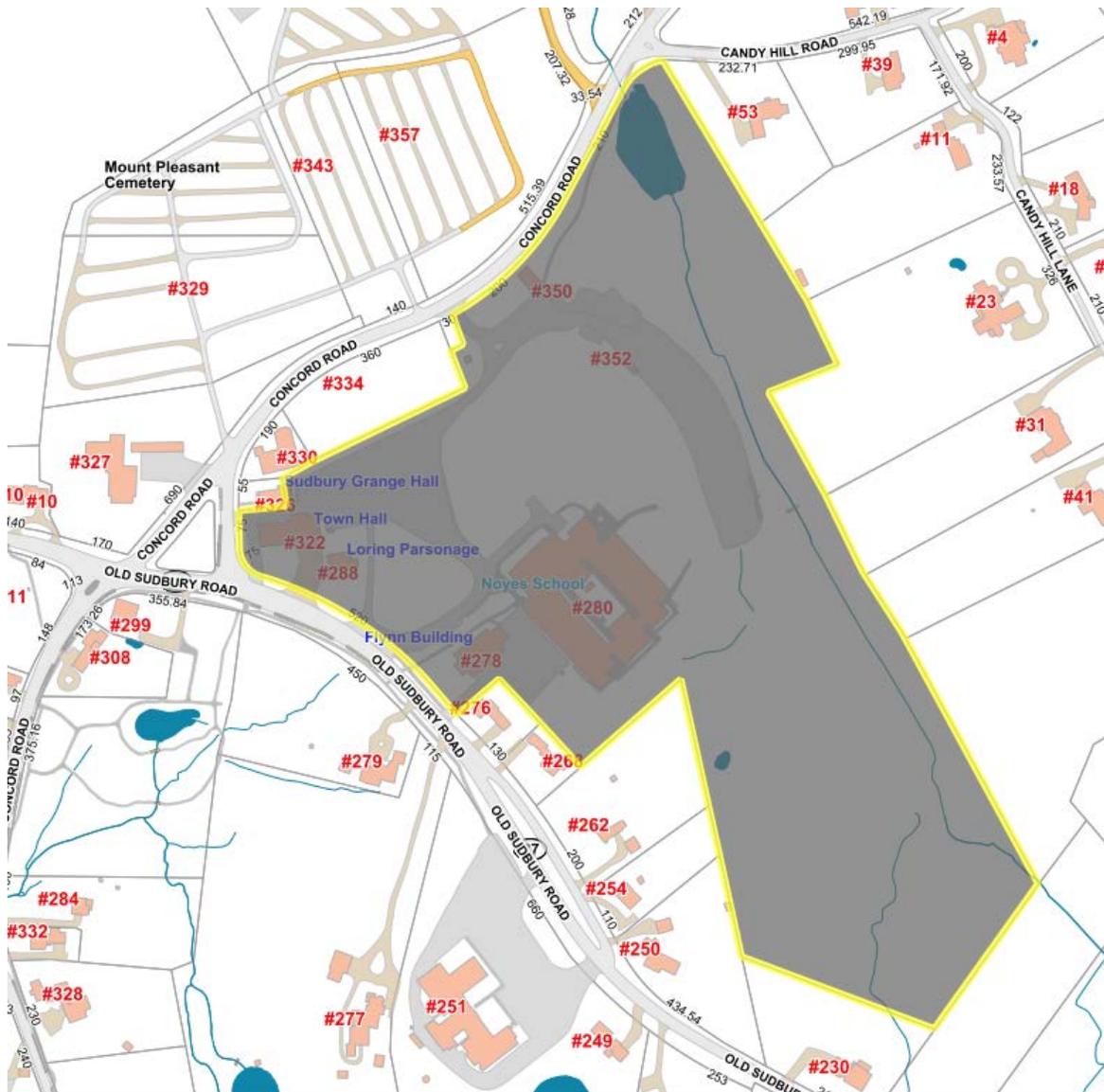
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Vital Records of Sudbury, Massachusetts, to the year 1850. Boston, MA: New England Hist. Genealogical Society, 1903.

MHC MACRIS database.

LOCUS MAP

↑ north



INVENTORY FORM B CONTINUATION SHEET

SUDBURY

278 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION
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SUPPLEMENTARY IMAGES



Detail of façade.



Southeast and northeast elevations.



Detail of entrance on southeast elevation.



Northwest and façade (southwest) elevations.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

278 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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SUPPLEMENTARY IMAGES



Historic image. Source: *Images of America; Sudbury, 2012.*

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

H09-0050	Maynard	SUD.A, J	SUD.156
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

LHD 02/18/1963
 NRDIS 07/14/1976

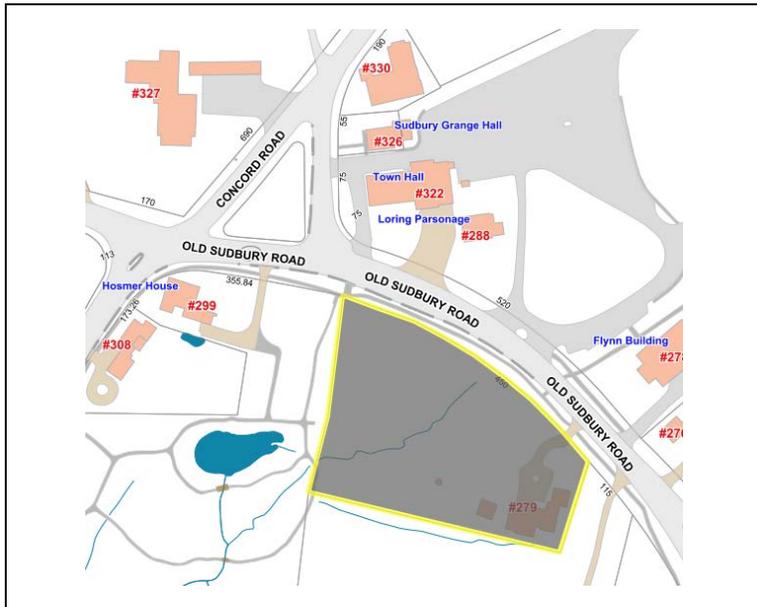
Photograph



East and façade (north) elevations.

Locus Map

↑
north



Town/City: Sudbury
Place: (*neighborhood or village*): Sudbury Center
Address: 279 Old Sudbury Road
Historic Name: Elisha W. Haynes House
Uses: Present: residential
 Original: residential
Date of Construction: ca. 1852-1854/
 early 20th century
Source: maps and atlases, deeds
Style/Form: Greek Revival
Architect/Builder: not determined

Exterior Material:
 Foundation: concrete (assessors)
 Wall/Trim: clapboard
 Roof: asphalt shingle
Outbuildings/Secondary Structures:
 barn (2010)

Major Alterations (*with dates*):
 exterior chimney (E 21st c) – side ell (E - mid 20th c?) – sun porch (20th c) -replacement window sash (L 20th – E 21st c)

Condition: good
Moved: no yes **Date:**
Acreage: 2.14 acres

Setting: Located on a major east/west thoroughfare at the historic town center. Mixed-use neighborhood with heterogeneous development that is widely spaced on large lots. Lot slopes down from the street, with a deep front setback that is maintained chiefly in lawn. A picket fence and low stone wall line the street edge.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

279 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

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220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.156

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

279 Old Sudbury Road consists of a main block with an offset rear ell and a side ell. The main block rises two stories to a front gable roof without returns; an exterior chimney rises up the east elevation of the main block, and a small chimney emerges near the ridgeline at the north end of the rear ell. Clapboard walls are trimmed with flat corner boards. Windows are typically regularly arrayed, occur singly, and have 6/1 replacement sash with flat casings. On the main block, the three-bay façade has an offset entrance with a single-leaf door framed by narrow sidelights, flat casing, and a peaked lintel. The east elevation has two widely spaced windows on each floor flanking the exterior chimney. The west elevation of the main block is not clearly visible from the street. The rear ell is two stories high, with its ridgeline lower than the main block. A large, glass-enclosed, one-story sunporch with a shed roof occupies the corner between the main block and rear ell on the east side. Fenestration on the ell's east elevation appears to consist of a single-leaf door towards the rear on the first floor. The second floor has three single windows and a three-part window over the sunporch. The 1½ story side ell on the west side of the main block has a side-gable roof with a long shed-roofed dormer covering nearly the entire front slope; it contains two gabled dormers flush with the main wall below. The first floor of the side ell's asymmetrical façade has a single-leaf door with a small gabled portico flanked by a single window on each side, and a barn-like door with a pent-roof hood at its outer end. A shed-roofed appendage extends from the side ell's west elevation.

Well maintained, 279 Old Sudbury Road is interesting as an example of early 19th century residential development in the town center area. The main block is very modestly detailed, notable for its secluded siting, front gable roof, three-bay façade, and vernacular original door surround. The scale and extent of additions detract from the historic integrity of the house.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Elisha W. Haynes (1808-1877) and his descendants owned this property from the early 1850s to 1948. Born in Sudbury, Haynes was a farmer. His purchases of this property seems to be related to his second marriage in 1854, to Nancy M. Johnson of Sudbury. In 1859, Elisha Haynes was assessed for 180 acres of land with buildings, four horses, two oxen, two bulls, and 26 cows. He operated a milk route, making deliveries from Sudbury to Boston.

The will of Elisha W. Haynes granted a life estate in this property to his and Nancy's son, George Albert Haynes. The 1889 atlas records a substantial barn and windmill (both demolished) associated with this house, which were positioned on Old Sudbury Road across from Concord Road. It is likely the windmill was used to pump water from a well to a holding tank. George Albert Haynes (1857-1925) was a Sudbury selectman. In 1900 he resided with his widowed mother and two boarders employed as farm laborers. After his mother's death, Haynes married Alice B. Chapman in 1906. Their family in 1920 included their son, George Albert Haynes, Jr. (age 12), and Alice's daughter, Ruth A. Miles (age 22), who was employed as the caretaker for the railroad office. It is not clear whether the family was living here or in another house in town. The 1921 tax valuation assessed George A. Haynes for both a house and land (four acres) at the town center, which is this property, and another house with multiple farm buildings on "home land" of 70 acres. His son, George Albert Haynes, Jr. (1907-1970), owned this house from 1925 to 1948 and worked for Sudbury's Highway Department. In 1939, he married Lillian Davison; she grew up nearby at 250 Old Sudbury Road (1773, SUD.159).

William J. Cossart, Jr. and his wife, Carolyn, purchased the property from the Haynes family, moving to Sudbury from Hanover, Massachusetts. The Cossarts kept horses here. William Cossart was a chemical engineer employed at the Polaroid

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

279 OLD SUDBURY RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.156

Corporation in Waltham. He served on the town's Board of Health, and as Sudbury Community Chairman in the 1968-1969 Massachusetts Bay United Fund Drive. Additions and changes to the roofline were undertaken about 1974. The Cossarts lived here until 1979, at which time the house still occupied the four-acre parcel George Haynes Sr. had owned fifty years earlier.

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SUPPLEMENTARY IMAGES



Façade (north elevations).



East and façade (north) elevations.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

K04-0002

Framingham

SUD.F

SUD.48,
SUD.432

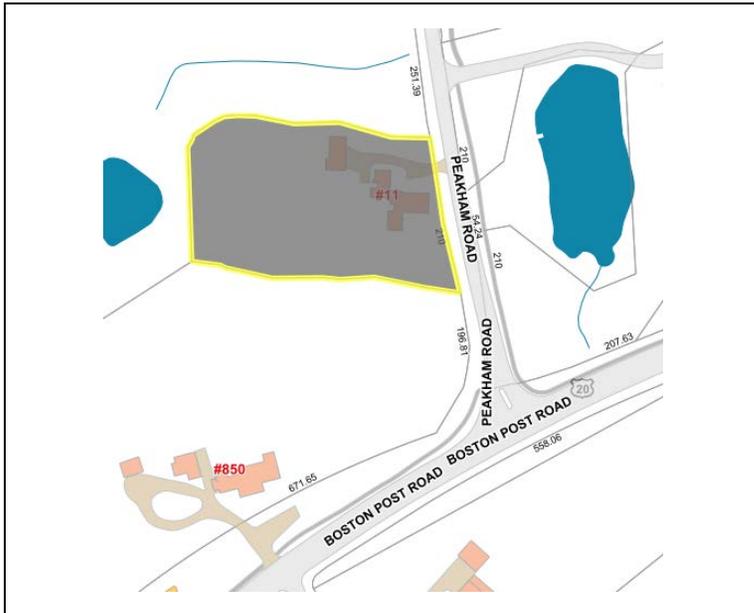
LHD 03/21/1967

Photograph



East and façade (north) elevations.

Locus Map



Recorded by: W. Frontiero, K. K. Broomer, and S. Spies,
consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 11 Peakham Road

Historic Name: Southwest School and Barn

Uses: Present: residential
Original: public school

Date of Construction: 1930

Source: Plumb, *A History of Longfellow's Wayside Inn*

Style/Form: Colonial Revival

Architect/Builder: not determined

Exterior Material:

Foundation: not visible

Wall/Trim: clapboard/wood

Roof: wood shingles

Outbuildings/Secondary Structures:
barn (mid 20th c?)

Major Alterations (*with dates*):
Conversion to residential use (ca. 1948)

Condition: good

Moved: no yes **Date:**

Acreage: 1.54 acres

Setting: Located near the intersection with Boston Post Road, on a well-traveled north/south thoroughfare. Residential area with distantly spaced houses on large lots. House faces north on a general flat lot; moderate setback from the street. The yard is maintained chiefly in lawn. A dry-laid stone wall lines the street edge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

11 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.F

SUD.48,
SUD.432

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 11 Peakham Road consists of a 1½ story main block, parallel connector wing, front and rear ells. All building parts have gable roofs without returns. The main block and its attachments are sheathed with clapboards, while the barn/garage is clad with vertical board siding. The 4 by 2 bay main block features a side-gable roof, very large center chimney set at the ridgeline, and two narrow, gabled dormers on both the front and rear roof slopes. Walls are trimmed with a narrow flat fascia and flat corner pilasters with three-tiered capitals. Windows typically are regularly arrayed, occur singly, and have 12/12 sash on the first floor, 8/12 on the second floor, and band molding. The main entrance is positioned slightly off-center on the north-facing façade, with one window to its east and two to the west. The entry consists of a single-leaf door with a narrow multi-pane transom, framed by classical pilasters and entablature. The symmetrical east elevation has two windows on the first floor and two in the half-story; the gable peak projects slightly past the first floor. The rear (south) elevation has four evenly spaced windows. The appendages to the main block are one-story high and trimmed with flat corner boards and fascia. A rear ell projecting from the southwest corner of the main block has a substantial chimney rising inside the end wall and two widely-spaced windows on its east elevation. The rear (south) wall is blank. The connector at the northwest corner of the main block projects slightly forward of it, although its roof is co-planar with the main block. Two windows are located on its façade (north elevation). Set perpendicular to the connector, the façade (east elevation) of the north wing has an offset, single-leaf door flanked by a 8/12 window with molded cap on each side at its south end and a segmentally-arched doorway with double-leaf, vertical board doors on its north end. The north elevation of this wing has a lean-to roof and a large, multi-pane window.

Ca. 1948, the schoolhouse was adaptively re-used as a residence. Alterations made at this time included removal of the school entrances on the gable end and the addition of dormers, gable-end windows, and ells;

Positioned to the northwest of the house is a side-gabled barn with two sections: the south end contains a one-bay garage; the higher, north end has double-leaf barn doors at its south end, a single-leaf pedestrian door in the center, and a small 6-light window at its northern end. The barn doorway features hinged, vertical-board doors and a narrow, multi-pane transom. Windows and doors have flat trim. A louvered, hip-roofed cupola is perched at the center of the ridgeline.

Well preserved and well maintained, 11 Peakham Road is a fine example of academic, Colonial Revival design in Sudbury, melding a reproduction of an early schoolhouse and an adaptive re-use as a dwelling. Notable architectural features include its compact scale and skillful proportions, sprawling massing, classical main entrance surround, stylized corner pilaster capitals, multi-pane windows, wood shingle roofs, prominent chimneys, and complementary barn.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

In 1923, Henry Ford began purchasing properties surrounding the Wayside Inn, eventually totaling 2,900+ acres and dozens of buildings. The residence at 11 Peakham Road was constructed for Ford in 1930 as the Southwest District School, a public school for students in grades five through eight. This was the second of two public schools that Ford built, following his 1926 reconstruction of the Redstone School, 104 Wayside Inn Road (see form), which served students in grades one through four. These two schools, as well as the Wayside Inn Boys School (1928-1947), were part of Ford's grand social and cultural scheme for a Colonial-themed community.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

11 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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A one-room school was located on or near the site of 11 Peakham Road from 1849 to 1897, when it destroyed by fire. Ford took a notion to replace this institution, "had his antique dealer William Taylor look around the Northeast for design ideas, and then. . . rebuilt the school to his liking."¹ The 1930 school building originally had two entrances, one for girls and one for boys, on the east (Peakham Road) elevation (see historic image).

World War II had a detrimental effect on Wayside Inn operations, however, and funds were insufficient to maintain all of the buildings and acreage that comprised the Inn complex. Between 1946 and 1951, the Wayside Inn Trust sold off more than 2,300 acres of land and buildings.² The Southwest School closed in 1947, and in 1948, the property was acquired by Robert and Sara Cline Caldwell, who renovated the building for residential use. Robert (1913-2015) and Sara (1916-2004) were married in 1941 and had four children together; they resided in Sudbury for more than 50 years. (The memorial service for Robert was held at the Martha Mary Chapel at the Wayside Inn.) An electrical engineer and businessman, Robert Caldwell was owner, president, and CEO of California Products Company, which manufactured California Paints, other architectural coatings, specialty abatement products, and athletic surfacing materials (primarily for tennis courts and running tracks). Sara Caldwell was a founding member of the Wayside Inn Ladies Committee.³ Beginning as *ad hoc* meetings in her home immediately after the 1955 Wayside Inn fire, the Ladies Committee was formed in 1957 with the mission to raise funds to restore and furnish the inn. Sara remained active in the Committee into the 1990s

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¹ Plumb, p. 119-120.

² Plumb, p. 129.

³ "Preserving a Bit of History: Ladies Committee Rescued Inn from 1950s fire, continues looking after it." *Sudbury Town Crier and Fence Viewer*. October 14, 1993, p. 20.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

11 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.F	SUD.48, SUD.432
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SUPPLEMENTARY IMAGES



East and façade (north) elevations of main house.



East and south elevations of main house.



Barn: East elevation.



Historic image of Southwest School. Source: Plumb, *A History of Longfellow's Wayside Inn*.

SUD.F	SUD.48, SUD.432
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National Register of Historic Places Criteria Statement Form

Check all that apply:

- Individually eligible Eligible **only** in a historic district
- Contributing to a potential historic district Potential historic district

Criteria: **A** **B** **C** **D**

Criteria Considerations: **A** **B** **C** **D** **E** **F** **G**

Statement of Significance by Wendy Frontiero and Kathleen Kelly Broomer
The criteria that are checked in the above sections must be justified here.

The Southwest School and Barn, 11 Peakham Road, is a singular example of 20th century development in Sudbury, representing Henry Ford’s scheme for a Colonial-themed community, with a full complement of institutional and commercial buildings, and its evolution to private suburban housing. Making a full circle, one of the owners who converted the school for residential use was a founding member of the Wayside Inn Ladies Committee, which was active in the restoration and operation of the Wayside Inn after Ford sold his interests in the complex.

Well preserved and well maintained, 11 Peakham Road is a fine example of academic, Colonial Revival design in Sudbury, melding a recreation of an early schoolhouse and its adaptive re-use as a dwelling. Notable architectural features include the building’s compact scale and skillful proportions, sprawling massing, classical main entrance surround, stylized corner pilaster capitals, multi-pane windows, wood shingle roofs, prominent chimneys, and complementary barn.

Retaining integrity of location, design, setting, materials, workmanship, feeling, and association, 11 Peakham Road is recommended for the National Register with significance at the local level. Information on historic interiors would be required for MHC to confirm this recommendation.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

K04-0005

Framingham

SUD.F

SUD.47,
SUD.433,
SUD.434

LHD 03/21/1967

Photograph



Façade (south elevation) of main block and additions.

Locus Map

↑
north



Recorded by: W. Frontiero, K. K. Broomer, and S. Spies,
consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury
Address: 95 Peakham Road
Historic Name: Fairbank-Walker House
Uses: Present: residential
Original: residential
Date of Construction: ca. 1725-1750
Source: WPA, *A Brief History of the Town of Sudbury*; visual inspection
Style/Form: Colonial/Cape
Architect/Builder: not determined

Exterior Material:

Foundation: stone (?) and concrete (not clearly visible from street)
Wall/Trim: clapboard/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:
garage, barns (2)

Major Alterations (*with dates*):
Rear additions (L 20th – E 21st c)

Condition: excellent

Moved: no yes **Date:**

Acreage: 4.99 acres

Setting: Located at a prominent intersection, facing south, in a rural residential neighborhood. Maintained chiefly in lawn, the lot slopes up to the north. The main house occupies a flat terrace several feet above Peakham Road. Generous setback from Peakham Road, with a dry-laid stone retaining wall positioned midway between the street and the main façade; a stone stairway aligns with the main entrance. Another stone wall lines the Peakham Road street edge.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

95 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.F

SUD.47, SUD.433,
SUD.434 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 95 Peakham Road consists of a small main block with multiple modern rear additions that vary in size and scale. Two free-standing barns are located to the northeast of the house. The main block rises 1½ stories to a broad, side-gable roof without returns; a large, tall chimney rises from the center of the ridgeline. Walls are trimmed with flat corner boards and a flat fascia with bed molding. Windows typically are regularly arrayed, occur singly, and have 9/6 sash with flat casings. The three-bay façade (south elevation) is barely asymmetrical, with a center, single-leaf door flanked by one window on each side. Windows are set tight to the eaves; the doorway has flat trim. The east elevation contains two 6/9 windows towards the front of the first floor, a single-leaf door behind, and a curved bay window to the rear; one window is centered in the half-story. The west elevation of the main block has two 6/9 windows towards the front and one 6/9 window centered in the half-story. The visible portion of rear of the main block has a single-leaf door and contiguous banded windows at the northwest corner. The rear additions all have gable roofs, clapboard siding and flat trim, and window sash and fenestration similar to the main block. A one-story wing extends north/south from the northwest corner of the main block; another one-story wing extends east-west across the back of the main block and terminates in a large, 2 ½ story front-gabled wing to the northeast of the main block.

Set well back from Peakham Road, the west barn has a front-gable roof without returns, vertical board siding, and two six-light windows without trim on the asymmetrical southeast elevation (facing Peakham Road). Other elevations are not visible from the street. A front-gambrel barn is set into the hillside nearby. Its façade (southeast elevation) is clad with wood shingles; the half-story projects slightly. The façade has granite cladding at the north corner of the building; a center entrance with double-leaf, vertical board doors; a small 4-light window to the side on the ground floor; and a hayloft door centered in the gambrel peak. The northeast elevation is a concrete block wall with one visible window set close to the eave.

Well preserved and well maintained, 95 Peakham Road is a fine, vernacular example of early Colonial architecture in Sudbury. Notable architectural features include the intact massing of the main block, its unusually broad gable roof and prominent chimney, intact fenestration and trim, historic window sash, and striking set of granite landscape walls. Although the rear additions tend to defer to the original cottage in scale and detailing, the scale and massing of the 2½ story addition at the northeast detract from the historic building. The barns are remarkable for their historic massing, fenestration, and materials, and their survival as agricultural outbuildings.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

95 Peakham Road is an excellent representation of the evolution of Sudbury over two centuries, from its agricultural beginnings through the development of the Wayside Inn complex by Henry Ford in the early 20th century. Secondary sources have stated that the house here was constructed in the second quarter of the 18th century. The earliest residents of the property have not been determined. Further deed research and physical examination of the interior of building, which are not part of the scope of this survey, are required to determine whether the current building dates to that period. Suggestions that the building was the town's first schoolhouse have not yet been corroborated. Additional research and physical examination of the two extant barns are also recommended, to determine their age and appearance on the site.

19th-century history sources have indicated that Jonathan Fairbank had his house at 95 Peakham Road.¹ Jonathan Fairbank (1755-1840)² was born in Holliston and settled in Sudbury around the time of his marriage to Hannah Morse (1764-1783)³ in

¹ Hudson, *History of Sudbury*, p. 441.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

95 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.F

SUD.47, SUD.433,
SUD.434

Sudbury in 1781. The couple had two children. After Hannah's death, Fairbank married Bridget Parmenter (1764-1828) in 1784; they had ten children together. The 1830 map of Sudbury indicates "E. Fairbank" as the owner of the house shown at this location. This could be one of Jonathan and Bridget Fairbank's sons, Eddy Fairbank (1795-1862) who was a resident of Sudbury at the time of the 1830 and 1840 census.

Abjiah Walker (1804-1892), a farmer, married Mary Noyes (1820-1874) in 1840 in Sudbury and it was likely around this time that Abjiah purchased the property at 95 Peakham Road. The couple had six children, including William Abjiah (1843-1922), James Madison (1845-1916), George A. (1849-1849), Lucy Walker Sawyer (1852-1915), and Emma (1864-1869). Abjiah Walker appears as the owner of the house in this location on the 1856-1889 maps. At the time of the 1850 census, he owned 55 acres of improved farmland and 200 acres of unimproved land in Sudbury.

Abjiah's son James Madison Walker (1845-1916)⁴ married Carrie Palmer (1858-1913)⁵ of Marlborough in 1877. According to the 1880 census, the couple lived at the farm with Abjiah and James's brothers, William and Charles. James and Carrie Walker had three children, including James Clifford Walker (1891-1985). In 1921, the farm included 69.75 acres, a house, and two barns.⁶

Henry Ford purchased the house and 20 acres from James Clifford Walker (1891-1985) in either 1923 or 1926. The 1945 deed in which the Wayside Inn sells this property (Book 6916, Page 361) includes a 1926 purchase from J. Clifford Walker (Book 4390, Page 390). This 1926 purchase appears to correspond to this property. Unfortunately, the deed is not accessible online. The WPA history of Sudbury (p. 78) states that Ford purchased 95 Peakham Road in 1923. Further research is recommended.

The Walker House, as Ford referred to it, became one of the 40 buildings and nearly 3,000 acres that Ford acquired to create the Wayside Inn complex. World War II had a detrimental effect on Wayside Inn operations, however, and funds were insufficient to maintain all of the buildings and acreage that comprised the Inn complex. By 1946, maintenance was needed on nearly all of the buildings and "only the Jones, Walker, and Parmenter Place [were] livable."⁷ Between 1946 and 1951, the Wayside Inn Trust sold off more than 2,300 acres of land and buildings.⁸ John S. and Dorothy Colby purchased 95 Peakham Road in 1946, moving here from Framingham.⁹ John Colby (1891-1969) was employed as a printer in 1946; Dorothy was director of the Vesper George School of Art (in operation from 1924 to 1983) in Boston in that year. The Colbys owned the property until 1953, when it was sold to Patrick A. and Joan S. Requa of Clinton, Mass.¹⁰ Patrick Requa (1920-1991) was employed as a manufacturer's representative for Colonial Press.

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³ <https://www.findagrave.com/memorial/68807995/hannah-fairbank>. Accessed June 17, 2021.

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⁶ Tax valuations, Town of Sudbury: 1921.

⁷ Plumb, p. 129.

⁸ Plumb, p. 129.

⁹ Middlesex South Registry of Deeds Book 7053, p. 408.

¹⁰ Middlesex South Registry of Deeds Book 8073, p. 137.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

95 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.F

SUD.47, SUD.433,
SUD.434

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SUPPLEMENTARY IMAGES



Main block: Façade (south) and east elevations.



Main block: West and façade (south) elevations.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

95 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

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SUD.F



West elevations.



Barns: Southeast elevations.



Historic image, ca. 1939. Source: *A Brief History of the Towne of Sudbury; 1639-1939.*

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

J05-0001	Framingham		SUD.313
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Photograph



Northeast and façade (northwest) elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broome, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 222 Peakham Road
(previously recorded in MACRIS as 232 Peakham Road)

Historic Name: Katie L. Wilson House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1918

Source: deeds, 1921 tax valuation

Style/Form: Craftsman

Architect/Builder: see narrative

Exterior Material:

Foundation: concrete

Wall/Trim: wood shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:

garage

Major Alterations (*with dates*):

replacement window sash, enclosed side porch (L 20th – E 21st c)

Condition: good

Moved: no yes **Date:**

Acreage: 2.78 acres

Setting: Located in a rural residential neighborhood, with large houses distantly spaced on large lots. The house is set well back from the street, with its front setback maintained chiefly in lawn. The lot slopes up gently from the street, with a modern, low retaining wall located approx. ¾ of the distance from the street to the house.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

222 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.313

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

222 Peakham Road is a rectangular cottage rising 1½ stories to a side-gable roof without gable returns. The front slope kicks out to enclose a full-width porch across the façade. A modest chimney rises up the rear slope of the roof, near the ridgeline; an exterior chimney extends up the southwest elevation, near the front of the building. Windows are not easily visible due to vegetation: the first floor of the façade has 6/1 replacement windows with flat trim, which may be typical. One window is centered in the northeast gable-end; the southwest elevation appears to be similarly fenestrated. The front porch consists of square posts with shaped bases and caps, railings with square-section balusters, and a shingled frieze. The center entrance has double-leaf doors with flat trim. Covering nearly the entire façade, a low, shed-roofed dormer has five 6-light windows in a 2-1-2 pattern. Side elevations are not easily visible from the street; the southwest elevation has a shed-roofed porch and modern deck towards the back.

Well maintained, 222 Peakham Road is representative of the simple residential development in Sudbury in the early 20th century. Notable architectural features include the house's siting far from the street, integral front porch, symmetrical 3-bay façade with double-leaf doors, intact front porch, and wide façade dormer. Replacement windows detract from the building's historical integrity.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This bungalow originally occupied a seven-acre parcel of cleared land abutting the south side of the Central Massachusetts Railroad right-of-way. While the circumstances leading to its construction are unclear, the house was associated with the Sinon and Wilson families, who resided on Peakham Road north of the railroad right-of-way. Michael Sinon (1854-1917) was a longtime railroad trackman in Sudbury. In 1918, his widow, Nellie, conveyed the parcel to their daughter, Katie L. Wilson. The deed does not reference any buildings thereon, but indicates that Michael Sinon's last will devised the property to his wife for her use during her lifetime. If the bungalow was not present at the time of the conveyance, it was likely constructed shortly thereafter, by Katie Wilson's husband, house carpenter Charles E. Wilson. Charles Wilson came to Sudbury from Boston in the 1890s. He married Katie Sinon in 1898, and they raised their children in the house he built across the road from her parents, at 266 Peakham Road (ca. 1901-1908, SUD.341). This bungalow at 222 Peakham may have been intended as Nellie Sinon's home in her retirement, or perhaps to be used as an income property and leased to tenants. The increasing popularity of the automobile precipitated a boom in bungalow and "summer camp" construction in Sudbury in the early 20th century.

Following Katie L. Wilson's death in 1921, the house remained in the Wilson family another twenty-four years. Her estate was assessed that year for a house valued at \$300 and seven acres valued at \$150. Oldest son Ralph E. Wilson, who was also a carpenter, acquired his father and siblings' interest in the property in 1929. He remained the owner until 1945, though by the early 1940s he lived in Wolfeboro, New Hampshire and then Columbia, Connecticut. George W. Terren and his wife, Winona, purchased the bungalow on five acres in 1956, moving to Sudbury from Needham. Terren was employed as a machinist. They reduced the parcel to its current size in 1960 by selling the northerly section abutting the railroad right-of-way.

In spring 1966, George Terren endeavored to incorporate the Peakham Club, Inc., a private social club that would use this property for education, social, and athletic purposes, offering wrestling, handball, billiards, and other sports and activities. Club rooms were to be open to members, and long-range plans called for constructing a separate building on the property devoted to athletic use. The Board of Selectmen initially opposed the incorporation, on the grounds that such a use would be detrimental to

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

222 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.313
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the residential area, especially with the possibility that incorporation would allow the club to apply for a license to sell and/or consume alcoholic beverages. A vote to report favorably to the Secretary of the Commonwealth on the application came with the provision that the Board of Appeals grant a variance to the property owner for the new use, with the matter of a possible liquor license to be addressed at a future date. It appears the club concept was not pursued further. George Terren sold the property in 1972.

BIBLIOGRAPHY and/or REFERENCES

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- Middlesex South Registry of Deeds: 4207:140 (1918), 5404:405 (two deeds, 1929), 6835:352, 8726:149, 12280:703 (1972).
- "Peakham Rd. club won't be allowed." *Fence Viewer*, Sudbury (April 21, 1966), 4:3.
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- Resident/voting lists, Town of Sudbury: 1946, 1969.
- Sudbury directories: 1926, 1930, 1936.
- Tax valuations, Town of Sudbury: 1921, 1942.
- U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.
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FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

H07-0012	Maynard		SUD.435 SUD.436
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Town/City: Sudbury

Place: (*neighborhood or village*):

Photograph



East and façade (north) elevations.

Address: 430 Peakham Road

Historic Name: Bruno and Dena St. Germain House

Uses: Present: residential
Original: residential

Date of Construction: ca. 1928-1930

Source: deeds, directories

Style/Form: Craftsman

Architect/Builder: see narrative

Exterior Material:

Foundation: concrete block

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures: garage, two sheds

Major Alterations (*with dates*):
n/a

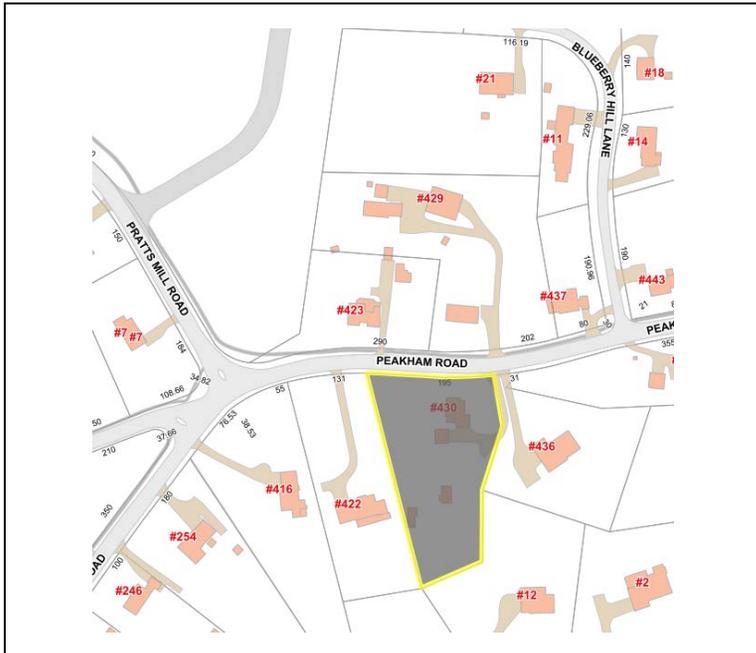
Condition: fair

Moved: no yes **Date:**

Acreage: 1.09 acres

Setting: Located in a suburban residential area, with regularly spaced, mostly mid to late 20th century houses, on large lots. Lot slopes up gently from the street, with a moderate front setback maintained chiefly in lawn.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

430 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.435,
SUD.436

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 430 Peakham Road is an irregularly shaped building rising 1 story to a front-gable roof without gable returns. Appended to the main, north/south block is a shallow gabled pavilion at the front (flush with the main block's west wall) and a small gabled projection at the southeast corner. An enclosed sunporch with a shed roof is attached to the rear. An exterior chimney rises up the west wall towards the front of the building; a small chimney protrudes from the middle of the main ridgeline. Windows occur singly and paired, are regularly arrayed, and have 5/1 sash and flat trim. The façade has an offset entrance with a single-leaf door and a small shed-roofed hood, paired windows to the side, and a small louvered opening in the gable peak. The west elevation has the exterior chimney towards the front and a cross-gabled projection with paired windows positioned off-center. The northeast corner of the main block has one window facing the front (north) and a single window and paired windows on the east elevation. The perpendicular appendage at the rear of the east elevation has paired windows facing front and a single window in the gable end, facing east. The rear sunporch has paired windows visible on its east elevation.

Standing to the southwest of the house is an original or early garage with a front-gabled roof, facing east. Siding and trim match the house. The north elevation has a 6-light window set slightly off-center; the west elevation has a 6-light window that appears to be centered. Two sheds located towards the rear of the house may also be original or early; further investigation is merited.

Well preserved, 430 Peakham Road is an unassuming, well-crafted example of early 20th century residential development in Sudbury, and one of the most intact. Notable architectural features include its relatively complex massing, simple front entrance hood, intact fenestration, unusual historic sash configuration (5 vertical lights over a single-pane lower sash), exterior chimney, and original/early outbuildings.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Bruno and Dena St. Germain moved to Sudbury in the late 1920s, operating a poultry and general farm here into the 1940s. They purchased roughly 20 acres of brush land on Peakham Road near Horse Pond Road in 1927 and 1928, and owned as many as 56 acres during this period, clearing land that had been blackened by a forest fire. The St. Germaines were listed in the 1930 town directory as residents of Peakham Road, indicating they had built a house by that time. Bruno and Dena St. Germain were French Canadians who came to the United States in 1895 and 1897, respectively. They previously managed a dairy farm on Lexington Street in Weston (1910) and maintained their own farm in Portsmouth, New Hampshire (1920). Their son, Albert (age 21), resided with them in 1930, employed locally as a carpenter.

In 1942, buildings on the St. Germain farm included seven hen houses, a garage, and two small dwellings: a house valued at \$800, and a cottage valued at \$1,350. Albert St. Germain was likely involved in the construction of his parents' house, believed to be the dwelling at 430 Peakham. He is known to have built his own house next door at 422 Peakham Road (demolished), where he resided with his wife, Bertha, after their marriage 1931. While Bruno and Dena St. Germain retained ownership of their farm until 1947, they had already relocated to Pleasant Street in Marlborough, where they began operating the old Herbert Huntington farm in the early 1940s. Albert St. Germain (1909-1993) was one of the original founders of the Sudbury Fire Department, serving as both department mechanic and call firefighter before being named the town's first fire chief in 1953. He retired as fire chief in 1974, and also served as Sudbury's first building and fire inspector.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

430 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.435,
SUD.436

Howard Crawford Kelley (1917-1998) and his wife, the former Eleanor Johnson, acquired the Bruno and Dena St. Germain House in 1949. By that point, the house occupied the present 1.1-acre parcel. Kelley served the town of Sudbury as captain of the Fire Department, plumbing and gas inspector, and Civil Defense Radio Officer.

BIBLIOGRAPHY and/or REFERENCES

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- Various newspaper references to Howard C. Kelley. Sudbury Newspaper Archive. <http://sudbury.advantage-preservation.com> Accessed May 2021.

SUPPLEMENTARY IMAGES



Garage: North and west elevations.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

430 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	SUD.435, SUD.436
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FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

HO7-0025	Maynard		SUD.437
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town/City: Sudbury

Place: (*neighborhood or village*):

Photograph



Façade (south) and east elevations.

Address: 489 Peakham Road - Haynes Meadow
Historic Name: Howe Lumber Company Lodge
Uses: Present: residential
 Original: commercial – company lodge
Date of Construction: ca. 1924
Source: deeds, visual inspection
Style/Form: Craftsman/bungalow
Architect/Builder: Howe Lumber Company, bldr.

Exterior Material:

Foundation: concrete block
Wall/Trim: wood shingle/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:

n/a

Major Alterations (*with dates*):

replacement window sash; side deck; greenhouse addition (L 20th c)

Condition: good

Moved: no yes **Date:**

Acreage: 22.49 acres

Setting: Located in the town-owned Haynes Meadow conservation area, at the end of an 1100 ft long driveway. Adjacent to a small pond, near Hop Brook, and surrounded by woodland and wetlands.

Locus Map



see continuation sheet

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

489 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.437

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The residence at 489 Peakham Road is a 1½ story bungalow with an asymmetrical side-gabled roof, exposed rafter ends, and no gable returns; a small chimney rises from the center of the ridgeline. The front slope of the roof extends downward to cover a recessed, one by three bay porch with Tuscan columns; no balustrade. Walls are clad with beveled clapboards on the first floor and shingles on the second floor; the corners are trimmed with flat corner boards. Windows typically are paired on the first floor, occur singly on the second floor, and have 1/1 replacement sash with band molding. The façade (south elevation) is dominated by the full-length porch and a shed-roofed dormer with six windows that spans most of the half-story. The center entrance has double-leaf doors and paired windows on each side. The east elevation has a fully-exposed basement, a deck with low shingled walls supported on square posts across its full length, a band of four windows and one single window on its first floor, widely spaced symmetrical windows at the half-story, and a louvered lunette in the gable peak. The west elevation contains a modern glass-and-metal greenhouse addition towards the front, with a single-leaf door and contiguous window within, paired windows towards the back of the first floor, two widely spaced windows at the half-story, and a smaller window with a louvered lunette in the gable peak. The rear (north) elevation has an offset, single-leaf door and paired windows at its east end, and two single windows above. The interior is reported by the tenant to feature paneling and woodwork; further investigation and documentation is recommended.

Well preserved and well maintained, 489 Peakham Road is a robust, unusually intact example of early 20th century residential design in Sudbury. Notable architectural features include the isolated setting, bold roof shape, prominent dormer, recessed porch with classical columns, and historic siding, fenestration, and trim.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Hop Brook and adjacent waterways have powered a number of sawmills. Howe Lumber Company of Marlborough built this dwelling about 1924 as a lodge for employees who processed lumber at its Sudbury sawmill location on Pratt's Pond, later known as Connors Pond. Howe Lumber maintained several sites in eastern Massachusetts for logging and sawing lumber, including at White Pond in Concord, and in Hopkinton and East Princeton. In 1924, Charles F. Connor of Marlborough, the manager of Howe Lumber, acquired 37 acres on both sides of Peakham Road. He installed equipment at the dam on Hop Brook to produce electricity. While Connor was thought to reside in this house, period sources confirm he resided in Marlborough, where the company maintained its lumber yard. He managed Howe Lumber Company from about 1915 to 1941, when the business apparently closed. During an April 1931 forest fire in Sudbury that burned a substantial area from Peakham to Dutton Roads and destroyed nine houses and camps, Connor had the sawmill employees standing by to assist in fighting the fire if it reached the company mill site at Pratt's Pond.

Charles F. Connor and his wife, Agnes V. Connor, held the title to this property in their own names. In 1942, Connor was assessed for 37 acres of land and water privileges, the lodge (described as a camp house and valued at \$3,500), and a power house (\$500). They conveyed the land and buildings to their daughter, Matilda Connor of Boston, in 1943. A reported effort to create a cottage development at Connors Pond in the 1950s was abandoned when Hurricane Diane (1955) washed out the dike and eliminated the pond. John C. Powers and his wife, Betsey W. Powers, purchased the property in 1959 and resided in this house. An attorney, John Powers served the Town of Sudbury as a Selectman and Town Meeting moderator, while Betsey Powers served as Town Clerk. They conveyed the property in 1986 to the Town of Sudbury, which maintains the area as the Haynes Meadow Conservation Land, and leases the lodge for residential use.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

489 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.437

While further deed and genealogical research would be needed to confirm, it appears the Howe Lumber Company of Marlborough had connections to Sudbury that predate the 1924 acquisition of this parcel by the Connors and construction of the lodge. The 1908 atlas shows George A. Howe as the owner of a sawmill on the south side of Peakham Road, immediately east of Hop Brook. Emma W. Howe of Marlborough, widow of George A. Howe, owned the Connors parcel from 1903 to 1923. Her husband had been a wooden box manufacturer. Initially manufacturing wooden boxes, Howe Lumber Company expanded before World War I to offer lumber and building materials such as roofing, sheathing, lath, doors, and windows. Arthur F. Blanchard of West Acton served as president and treasurer of the company from ca. 1915 through the 1930s. He went on to become president of Blanchard Lumber Company and New England Brick Company, both in Boston.

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- Tax valuations, Town of Sudbury: 1921, 1942.
- Town of Sudbury zoning map: 1938.
- U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.
- USGS topographical maps: 1943, 1950 (Maynard quadrangle).

SUPPLEMENTARY IMAGES



Façade (south elevation).

	SUD.437
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National Register of Historic Places Criteria Statement Form

Check all that apply:

- Individually eligible Eligible **only** in a historic district
- Contributing to a potential historic district Potential historic district

Criteria: **A** **B** **C** **D**

Criteria Considerations: **A** **B** **C** **D** **E** **F** **G**

Statement of Significance by Wendy Frontiero and Kathleen Kelly Broomer
The criteria that are checked in the above sections must be justified here.

The Howe Lumber Company Lodge, 489 Peakham Road, is an unusual example and rare survivor of Sudbury’s agricultural development in the 20th century, as the town was transforming into a suburban community. Although Sudbury’s greenhouses were the town’s most prominent commercial activity during this period, logging and milling continued at an appreciable level. The bungalow was constructed as lodging for employees of the Howe Lumber Company of Marlborough who processed lumber at the company’s sawmill on Pratt’s Pond in Sudbury. Well preserved and well maintained, 489 Peakham Road is a robust, unusually intact example of early 20th century residential design in Sudbury. Notable architectural features include the isolated setting, bold roof shape, prominent dormer, recessed porch with classical columns, and historic siding, fenestration, and trim.

Retaining integrity of location, design, setting, materials, workmanship, feeling, and association, 489 Peakham Road is recommended for the National Register with significance at the local level. Information on historic interiors would be required for MHC to confirm this recommendation.

FORM B – BUILDING

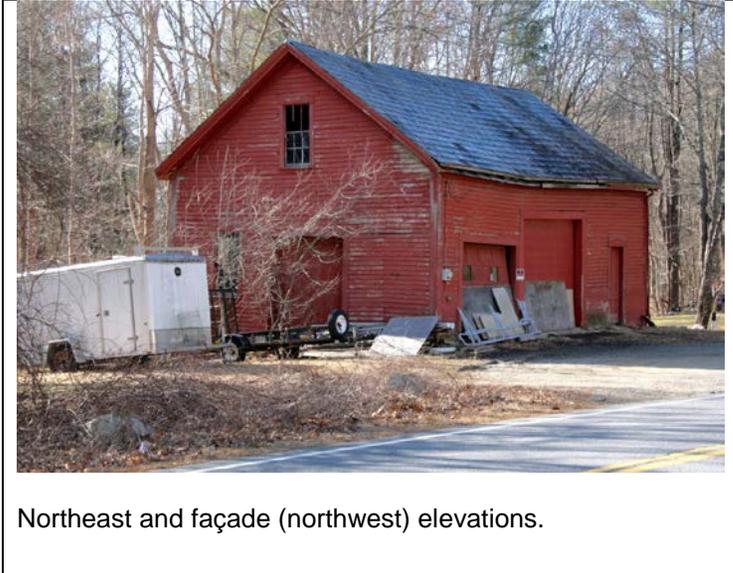
MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

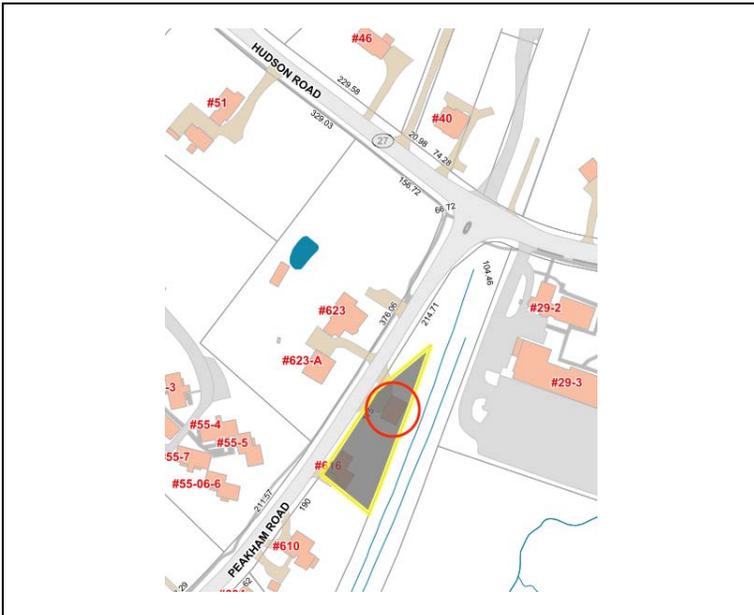
H09-0001	Maynard	SUD.A, J	SUD.438
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LHD 02/18/1963
NRDIS 07/14/1976

Photograph



Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
Sudbury Center

Address: 616 Peakham Road

Historic Name: Old Colony Railroad Freight House

Uses: Present: residential storage/garage
Original: railroad freight house

Date of Construction: ca. 1880

Source: maps and atlases

Style/Form: no style

Architect/Builder: not determined

Exterior Material:
Foundation: not visible
Wall/Trim: clapboard/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:
see narratives

Major Alterations (*with dates*):
unknown (see narratives)

Condition: fair

Moved: no yes **Date:** ca. 1937-1940

Acreage: 0.42 acres

Setting: Located near the intersection of three main thoroughfares and the Old Colony Railroad (no longer in use), in a well-developed, heterogeneous, mostly residential neighborhood near the historic town center. Property abuts the railroad right-of-way on the east; a modern house (2010) stands on the southern end of the parcel. The building has a modest front setback and stands on a mostly flat area maintained in lawn on the sides and a paved driveway in front.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

616 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.438

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

616 Peakham Road is a simple rectangular volume rising 1½ stories to a side-gable roof without returns. Clapboard walls are trimmed with flat corner boards. Windows typically occur singly and have 6/6 sash with flat casings; doors are also trimmed with flat casings. The asymmetrical façade (northwest elevation) has a large square door positioned approximately in the center; it appears to be blocked in. This doorway is abutted on the north by a smaller opening with a modern garage door; a pedestrian entrance with a single-leaf, 4-panel door is located at the south end of the facade. The symmetrical southwest elevation features two windows on the first floor and one centered in the half-story. The asymmetrical northeast elevation has a window towards the rear and a large vehicle door positioned slightly off-center on the first floor, and a window centered in the half-story. Not clearly visible from the street, the rear elevation has two 6/6 windows towards the northern end and a set of three contiguous 6/9 windows in the southern end.

Although suffering from neglect, the historic building at 616 Peakham Road is a remarkable survivor of early railroad history in Sudbury. Notable architectural features include its prominent location, simple massing, and historic materials, utilitarian fenestration, and window sash.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The only railroad freight house known to survive in Sudbury, this building appears to have been associated with the Old Colony Railroad at the time of its construction. The railroad architect has not been determined. A 1916 inventory undertaken by the New York, New Haven & Hartford Railroad, subsequent lessor and operator of the line, recorded a freight house of approximately the same dimensions as this building. Then located north of Hudson Road, the building had an outdoor platform that covered 222 square feet, and housed one scale, two trucks, one skid, and other equipment. Depression-era financial constraints caused the two railroad companies to end passenger service in 1933 and sell their real estate, apparently including the freight house. Between 1933 and 1936, the passenger station was acquired and moved to 40 Hudson Road (see form) for use as a dwelling. The freight house appears to have been moved between 1937 and 1940 to its present site at 616 Peakham Road, where it was used for vehicular and equipment storage. Harriet O. Young, wife of Albert N. Young, purchased this parcel in 1937 from a neighbor, and the Youngs were likely responsible for moving the freight house from its original site across Hudson Road and roughly 500 feet to the north.

Freight trains passed through Sudbury Center from 1871 to until at least 1973. The short-lived Framingham & Lowell Railroad (1871-1872) was succeeded by the Boston, Clinton & Fitchburg Railroad (1872-1876), and the Boston, Clinton, Fitchburg & New Bedford Railroad (1876-1879). Before railroads, the only public conveyance through the town center was a horse-drawn stage coach that traveled from South Sudbury, continuing on to the town centers of Wayland and Weston. Mail also traveled over this route daily [Hudson, 531]. In addition to the town center, the Framingham & Lowell Railroad established passenger stations at North Sudbury and South Sudbury, though it appears freight houses were only maintained at the center and South Sudbury. All three passenger stations were destroyed by fire in 1887 and subsequently rebuilt, but the freight house at Sudbury Center is believed to have survived and therefore would pre-date the passenger station in the village. The other freight house at South Sudbury was demolished in 1962. Old Colony Railroad owned and operated the line from 1879 to 1893, then retained ownership while leasing the operation to the New York, New Haven & Hartford Railroad from 1893 to 1968. Subsequent owners included the Penn Central Railroad (1968-1976) and various freight lines. The section of road from South Sudbury to West Concord was abandoned in 1982 [Hudson, 532, Karr, 218-219, "Freight house removed"].

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

616 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.438

Albert N. Young operated Young's Store, a variety store and gas station at 29 Hudson Road, across the railroad tracks from his Peakham Road residence. In 1940, his 18-year-old nephew, Wilfred Spiller, lived with the family and worked as the gas station attendant. Spiller acquired title to the Young residence, including the freight house, in 1958 following the death of his widowed aunt, Harriet Young, and evidently moved here from Horse Pond Road. He had already purchased the store from his uncle, providing groceries, hot coffee, newspapers, and gasoline. The store also housed the town center Post Office in 1962. In the 1950s and 1960s, Wilfred Spiller served as a Sudbury fireman, finance officer of the Sudbury American Legion Post 191, and Veterans' Agent for the town. This property remained in the Spiller family until 2004. The former freight house is the only historic building remaining on the parcel, as the Young-Spiller house was replaced with a new dwelling about 2010.

The former Old Colony-New York, New Haven & Hartford Railroad line is part of the regional Bruce Freeman Rail Trail from Lowell to Framingham, which has opened in stages since 2009. Designs for the Sudbury section, extending from the Sudbury town line with Concord, south to the MassCentral Rail Trail at South Sudbury, are in progress; construction may start in 2022.

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SUPPLEMENTARY IMAGES



Façade (northwest) and southwest elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

H09-0056	Maynard	SUD.A, J	SUD.45, SUD.439
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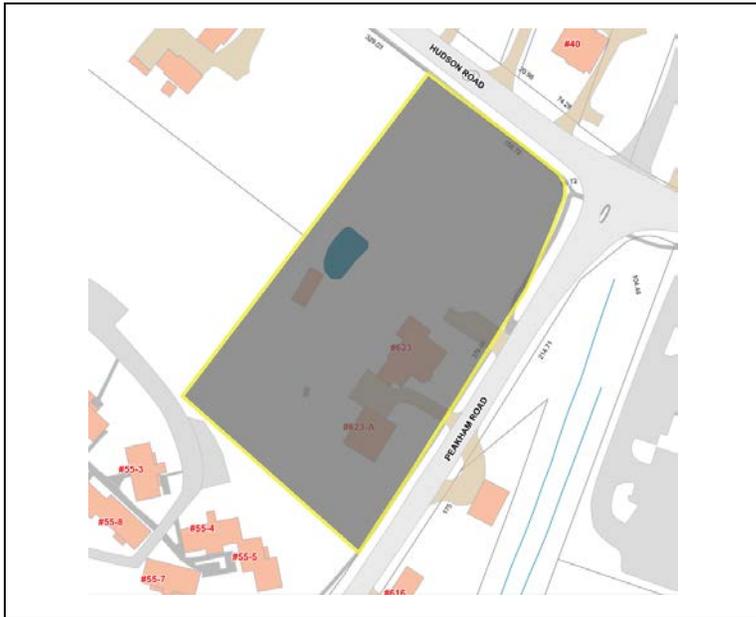
LHD 02/18/1963
NRDIS 07/14/1976

Photograph



Southwest and façade (southeast) elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
Sudbury Center
Address: 623 Peakham Road
Historic Name: Brigham-Oliver House and Barn
Uses: Present: residential
Original: residential
Date of Construction: early 19th century
Source: visual inspection
Style/Form: Greek Revival w/ Queen Anne updates
Architect/Builder: not determined

Exterior Material:

Foundation: granite, fieldstone
Wall/Trim: clapboard, wood shingle/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:
barn (ca. 1890), shed

Major Alterations (*with dates*):

bay window, door hood and double-leaf doors at front, side porch on ell (L 19th c) – rear wing (L 19th – 20th c) - replacement window sash (L 20th – E 21st c)

Condition: good-excellent

Moved: no yes **Date:** ca. 1870

Acreage: 1.96 acres

Setting: Located on a main north/south thoroughfare near its intersection with the right-of-way of the Massachusetts Central Railroad. Well developed streetscape with heterogeneous residential buildings. The house has a generous front setback, maintained chiefly in lawn, on a parcel that slopes gently up to the north and west.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

623 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.45,
SUD.439 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

623 Peakham Road contains a main house having a small side ell and large rear wing, and a free-standing barn. The main block of the house is a rectangular building rising 2½ stories to a side-gabled roof with pedimented ends. Twin chimneys rise from the ridgeline, and a slender chimney rises from the center of the ridgeline on the side ell. Clapboard walls are trimmed with flat sillboards and corner boards and a narrow fascia board with crown molding. Windows are typically regularly arrayed, have 1/1 sash with flat casings that stand proud of the walls, and are capped by heavily molded cornices. Second story windows are placed tight to the eaves. The asymmetrical facade (southeast elevation) has a center entrance with two windows to the north and a two-story, angled bay window with a faceted roof to the south. The bay window is clad with decorative wood shingles. The entry consists of double-leaf doors with glass and wood panels and heavily carved brackets supporting a hip-roofed hood. The symmetrical northeast elevation has two widely-spaced windows on the first two floors and two smaller windows in the tympanum. The southwest elevation has three windows on the first two floors, including a smaller one towards the rear on the second floor, and two small windows centered in the tympanum. Projecting from the west corner of the main block is a 1½ story, side-gabled ell. The two-bay façade of this appendage has an offset, single-leaf door flanked by a 2/2 window on the first floor and two small, 2-light windows in the knee wall of the half-story; all are trimmed with flat casings. The southwest elevation of the side ell has an asymmetrical gable roof, a small 6/6 window set slightly off-center on the first floor, and a center window in the half-story. A shed-roofed porch with square posts and simple sawn brackets covers the rear of the ell's first floor; within are a single-leaf door and what appear to be two 2/2 windows towards the rear. The rear wing is 2 or 2 ½ stories high, with a gabled roof perpendicular to the main block, minimal gable returns, and a chimney rising near the ridgeline towards the back. Offset from the main block, it has one window on each floor facing the street. Its long, northeast elevation contains a modern, angled bay window and an offset door with carved brackets and hip-roofed hood on the first floor, and two evenly spaced windows under small cross gables on the second floor.

Positioned near the street, to the southwest of and facing the house, is a moderately-sized, New England-style barn (ca. 1890). The structure rises 1½ stories from a dry-laid fieldstone foundation to a front-gabled roof that faces the house. Clapboard walls are trimmed with flat cornerboards and flat casings around windows and doors. The symmetrical façade (northeast elevation) contains a large pair of sliding barn doors beneath a pent-roof hood and a small 6/6 window centered in the gable peak. Four small 6-light windows (1991) are evenly spaced across the long southeast elevation. The asymmetrical southwest elevation has the same barn doors and gable-peak window as the façade. In addition, this façade contains a triplet of 6/6 windows towards the street and an offset pedestrian door, two small 6-light windows, and a hayloft door towards the rear.

Well preserved and well maintained, 623 Peakham Road is a fine example of vernacular, 19th century residential and agricultural development in Sudbury. Notable architectural features include the house's traditional side-gable form with pedimented ends, combination of Greek Revival and Queen Anne motifs, two-story turret, ornamental door hoods, early side ell, potentially early rear wing (further investigation is required), and historic fenestration and materials. The largely intact barn is remarkable as an uncommon and substantial example of early agricultural outbuildings.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Hudson's *History of Sudbury* reports that Capt. William Brigham owned this house when it was moved from its original site to accommodate construction of the Framingham and Lowell Railroad. Built in 1870, the railroad opened October 1, 1871. The precise location of the original building site is unclear, though the house is said to have been moved "from a spot to the north-

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

623 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.A, J

SUD.45,
SUD.439

easterly" [p. 496]. The 1870 valuation assesses William Brigham for a house, barn, 35 acres of land, and another three acres of land previously owned by the Moore family, all of which correspond to a later valuation for this house in 1921. The present barn, however, appears to date to ca. 1890, per atlases and the 1890 valuation. An older barn on the property was removed at an undetermined date.

Though Capt. William Brigham may have owned the farm, his son, Rufus Brigham, apparently resided in this house [Hudson, 437]. Rufus Brigham married Lucretia Moore in 1842 and was a Civil War veteran. The construction date of the house is unclear, due in part to its relocation from the original site. Examination of structural framing is suggested to establish an estimated date. The 1967 inventory form dates the house to the early 19th century, based on an interview with the owner, while a more recent report suggests a construction date of ca. 1750-1770 [Swanson]. Uriah Moore owned a house on this approximate site in 1830. If the Peakham Road intersection with the present Hudson Road was reconfigured in 1870 to accommodate the railroad construction, it is possible this dwelling is the Uriah Moore house, moved southwest from the old intersection. Preliminary genealogical research indicates Lucretia (Moore) Brigham's paternal grandfather and brother were both named Uriah Moore.

The house has remained in at least five generations of the same family from 1881 to the present, on a farm that retained its 19th-century boundaries until the early 1970s, and today preserves an agricultural character that is uncommon at Sudbury Center. On April 6, 1881, the administrator of William Brigham's estate conducted a public auction of the farm, and James P. Willis was the highest bidder, offering \$2,355. Ownership passed in turn through his female descendants, among them daughter Adeline (Willis) Parmenter, granddaughter Elsie (Parmenter) Oliver, and great-granddaughter Elsie Oliver Jr. Horace H. Parmenter, husband of Adeline Willis, was employed in a grist mill (1880) before turning to farming. Though Sudbury directories describe Richard B. Oliver, husband of Elsie Oliver, as farmer, vital and census records indicate he was also employed as a carpenter (1908) and house plumber by the 1920s. He served the town of Sudbury on the Board of Health (1920), and as a Special Policeman, the Sealer of Weights and Measures, and the Inspector of Water Meters and Town Water Appliances (1932). Elsie Oliver was active in the Sudbury Women's Club and Sudbury Grange, and considered an authority on town history. Their daughter, Elsie Oliver Jr. (1908-1997), who never married, was a longtime member of the Sudbury Grange. She held title to the farm when it was subdivided in 1970, creating the present parcel for the farmhouse and barn. The original 35 acres extended south to Colonial Road, west to 109 Hudson Road, and north across Hudson Road. Both Musketahquid Village senior housing complex and the town's public safety complex on Hudson Road were built on land from the Oliver farm.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

623 PEAKHAM RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.A, J

SUD.45,
SUD.439

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SUPPLEMENTARY IMAGES



Barn: Southeast and façade (northeast) elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

L10-0022	Framingham		SUD.22, SUD.440
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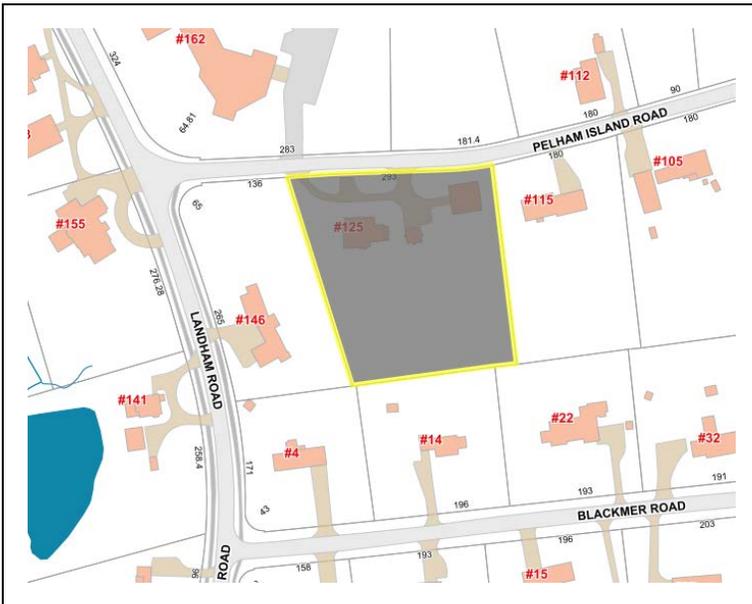
Photograph



Façade (north) and west elevations.

Locus Map

↑
north



Town/City: Sudbury
Place: (*neighborhood or village*): South Sudbury

Address: 125 Pelham Island Road
Historic Name: Henrietta L. Brooks House and Barn
Uses: Present: residential
Original: residential
Date of Construction: ca. 1890
Source: deeds, 1890 tax valuation
Style/Form: Mansard
Architect/Builder: James Hall

Exterior Material:
Foundation: stone
Wall/Trim: clapboard/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures: barn (ca. 1890), garage

Major Alterations (*with dates*): front porch and side ell (20th c) – siding, trim, window sash and trim (after 1995)

Condition: good to fair

Moved: no yes **Date:**

Acreage: 1.76 acres

Setting: Located on a secondary thoroughfare between Sudbury and Wayland, semi-rural and residential in character with a variety of mostly 20th century houses. The house is set well back from the street on a large lot maintained chiefly in lawn.

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

125 PELHAM ISLAND RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.22,
SUD.440

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

125 Pelham Road contains a late 19th century house with a substantial modern ell, an early barn, and a modern garage. The main block of the house rises 2½ stories to a mansard roof, while its ell is a somewhat lower 2½ stories surmounted by a side gambrel roof. The two volumes are joined by an L-shaped, one-story verandah that spans the façade of the main block. A chimney rises from the rear (east) slope of the mansard. Walls are presently sheathed in clapboards with flat sill boards, corner boards (with pilaster-like caps), and fascia (with bed molding). Windows typically occur singly, have 1/1 sash, and are trimmed with flat casings and crown molding. The façade of the main block has a four-bay verandah with Tuscan columns supporting a hip roof. The main entrance is centered within, its double-leaf doors (possibly historic) slightly recessed behind a flat casing. A tall, single window flanks each side of the doorway. On the upper floors of its façade, the main block has four asymmetrically placed windows on the second floor; three dormer windows with low-pitched shed roofs are set slightly off center in the front slope of the mansard. The south elevation has two window bays on each floor: a single window and small rectangular bay window on the first floor, two symmetrical windows on the second floor, and two symmetrical dormers on the roof slope. The large, 20th century side ell has an offset entrance onto the front verandah, its single-leaf door flanked by two windows on the first floor. The second story of the ell's façade has two symmetrical windows. The gambrel-end has irregular fenestration, including two windows towards the back of the first floor, a small window towards the back of the second floor, and two windows centered in the half-story. A modern deck is visible at the back of the ell.

Positioned near the northeast corner of the parcel, a New England-style barn faces west towards the house. The barn rises 1½ stories from a fieldstone foundation to a front-gable roof with minimal gable returns. Walls are clad with artificial siding and trim; windows appear to also have artificial trim. The façade (west elevation) contains a large sliding door with diagonal sheathing and a narrow, multi-light transom; a 12-light window (3 by 4 panes) is centered in the gable peak above. The barn's north elevation is blank. Its east elevation has two small, widely spaced windows with 1/1 sash on the first floor, a multi-light transom centered high in the first story (suggesting that a barn door was once located below), and a small 1/1 window centered in the gable peak. A small chimney rises from the northeast corner of the barn.

Well maintained, 125 Pelham Road has been substantially rehabilitated since the previous survey form was completed in 1995; artificial siding and trim on the house have been replaced with wood, and casement windows in the dormers have been replaced with more sympathetic 1/1 sash. Unfortunately, 12/12 sash that were documented in the first floor windows of the main block in 1995 have been replaced with 1/1 sash, and it is not known whether new corner board and window trim are based on historical evidence. Nonetheless, the house is a striking example of ambitious, country house design in late 19th century Sudbury, with a rare surviving barn. Notable design features include the large open lot, the ample size of the house and its early ell, spacious verandah, double-leaf main entry doors, mansard roof, and simple dormers. The barn is remarkable for its prominent location near the street and its surviving barn door and transoms. Synthetic siding and trim detract from the historic integrity of this structure.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Henrietta L. Brooks House is a prominent example of late 19th-century residential development near East Sudbury station on the Central Massachusetts Division line of the Boston and Maine Railroad. The house replaces a mid-18th century dwelling constructed on Landham Road, the principal road to Framingham from this section of Sudbury. Boston widow Henrietta (Pearson) Brooks purchased the 100-acre Reuben Hunt farm here in 1876. She had the mid-18th century Hunt House on this site moved to 112 Pelham Island Road (SUD.21), and commissioned James E. Hall of Saxonville (Framingham) to build this

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

125 PELHAM ISLAND RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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SUD.22, SUD.440

dwelling and likely the accompanying barn as well. In the 1890 tax valuation, her estate was assessed for a house, an "old house," two barns, hen houses, two sheds, and 80 acres. The two houses and their accompanying barns were later divided into separate properties. Further subdivisions were made to the farm acreage after her death in 1890. Charles F. Chase farmed here, on about 20 acres, into the early 20th century, though the nature of his farm production has not been determined.

Irving Priest, a Boston banker, purchased the property in 1919 and commuted to work from Sudbury. He and his wife, Virginia, kept the barn and a hen house but evidently did not continue the farming. Following her husband's death in the 1930s, Virginia Priest resided here in 1940 with their four children, her mother and mother-in-law, and three lodgers. This arrangement perhaps provided the impetus for the establishment of the Priest Rest Home, Inc. Virginia Priest sold the house in 1960. The new owners, Walter A. and Anna M. Clark, operated the rest home through the 1960s, with Anna Clark serving as the director. The property remained in the Clark family until 1969, by which time the 20-acre tract had been reduced to the present acreage.

Builder James E. Hall (1849-1914) was born in England and immigrated to the United States as a small child with his family. He resided with his parents and sister in Saxonville by 1880, where his father was employed in a woolen mill. Hall's other work identified to date includes 1883 renovations to Athenaeum Hall, 1572 Concord Street, Saxonville (1846, FRM.715), and construction of the Nahum Goodnow House, 163 Landham Road (1884-1886, SUD.63).

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SUPPLEMENTARY IMAGES



Barn: North and façade (west) elevations.



Barn: East elevation.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

F04-0203	Maynard		SUD.441
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town/City: Sudbury
Place: (*neighborhood or village*): Pine Lakes

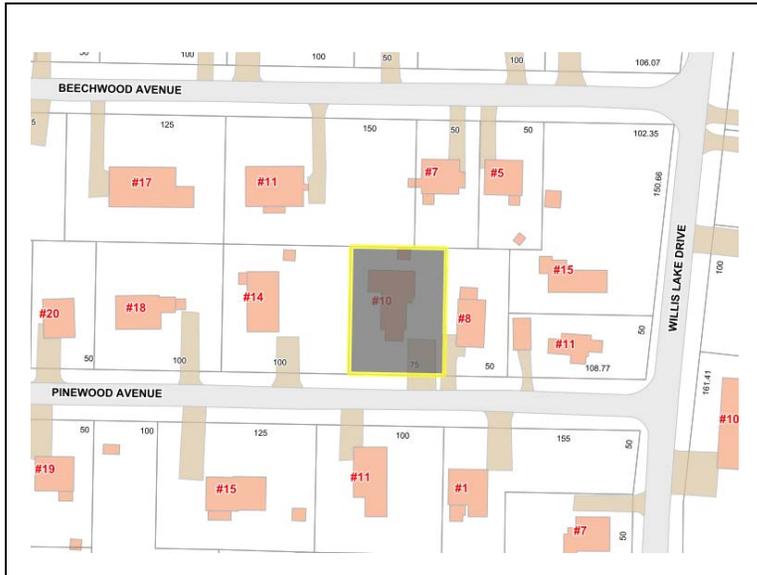
Photograph



Façade (south) and east elevations.

Address: 10 Pinewood Avenue
Historic Name: Frederic and Hazel Thompson Camp
Uses: Present: residential
 Original: residential
Date of Construction: ca. 1927-1939
Source: deeds
Style/Form: no style
Architect/Builder: not determined
Exterior Material:
 Foundation: concrete block
 Wall/Trim: vinyl/vinyl
 Roof: asphalt shingle

Locus Map



Outbuildings/Secondary Structures: n/a

Major Alterations (*with dates*):
 artificial siding, replacement window sash, new window openings, large rear addition (L 20th – E 21st c)

Condition: fair
Moved: no yes **Date:**
Acreage: 0.17 acres

Setting: Early 20th c residential subdivision developed with small cottages on small lots; many have been enlarged or replaced. Flat lot with a moderate front setback, maintained chiefly in lawn and paved surface parking.

Recorded by: W. Frontiero and K. K. Broomer, consultants
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

10 PINEWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.441

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

10 Pinewood Avenue is a small, T-shaped building with a modest addition at the northeast corner and a large addition across the back. The building rises 1 story to a front gabled roof without gable returns. There are two chimneys at the main block: an exterior chimney rises up the west elevation, and a smaller one emerges from the north end of the ridgeline. Fenestration is irregular, with a variety of windows shapes, sizes, and styles, all trimmed with vinyl and containing replacement window sash. The façade is dominated by a shed-roofed, enclosed sunroom that spans nearly the entire width of the building. The sunroom features a center, single-leaf door flanked by modern three-part windows. The rear addition at the northeast corner of the building has a shed roof and a single-leaf door facing the street. The doorway is sheltered by a small flat roof on a modern turned post. The large addition across the back of the building has a broad gable roof.

10 Pinewood Avenue is a nondescript, extensively altered survivor of early 20th century summer cottages in Sudbury. Due to the application of artificial siding, loss of original trim, replacement of window sash, frequency of new window openings and styles, and the scale and massing of the rear addition, the building no longer conveys an historic appearance.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This section of Sudbury was sparsely settled until the 1920s, when real estate speculators, typically from the Boston area, began developing recreational camps, many in wooded waterside locations that offered access to hunting, fishing, swimming, and boating. In 1927, John Adams of Medford acquired more than 78 acres in five tracts of land and woodlot off Hudson Road, in the vicinity of Great Pond (Willis Pond) and Bottomless Pond (Crystal Lake). Adams operated a real estate trust with fellow trustees and real estate men Eugene B. Hamilton of Somerville and Ervin R. Dix of Arlington, who was also a lumber dealer. This neighborhood of Pine Lakes was one of at least five developed by the trustees in the late 1920s and early 1930s. Others included Silver Lake Pines in Wilmington, Riverview in Tewksbury, Lakewood Pines in Stoughton, and River Pines in Billerica.

Eugene Hamilton sold this property (Lots 4 and 5) to S. Hazel Thompson of Watertown in 1927. Her husband, Frederic P. Thompson, was a candy buyer employed in Roxbury. While the precise date of construction has not been determined, the camp was built before the Thompsons sold the property in 1940. Ralph and Alice Ekholm of Boston owned this camp house in 1942, along with five other lots in another part of Pine Lakes. Ekholm worked for the Gillette Safety Razor Company in Boston. Michael P. Maglione and his wife, Mary, may have been the first year-around residents of the house, as the owners from 1948 to 1953. Alfred and Mary Casello owned the house from 1962 to 1993; Alfred Casello was employed as a mail handler in 1969.

This house represents the earliest phase of construction at Pine Lakes, which acquired an increasingly suburban character after World War II. Residents formed the Pine Lakes Protective and Improvement Association by 1942, which maintained a club house in the neighborhood. Its successor group, formed in 1964, was the Pine Lakes Civic Committee, which advocated for road improvements, demolition of abandoned buildings, and improvements to gas and water distribution systems [Scott, 155].

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"Real estate transactions. Seasonal opening at various land developments." *Daily Boston Globe (1928-1960)*; June 5, 1932; ProQuest Historical Newspapers; The Boston Globe, p. A28.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

10 PINWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.441
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Ekholm, Ralph. Registration card, serial no. T112. *U. S., World War II Draft Cards Young Men, 1940-1947* (February 15, 1942).
Database and images. www.ancestry.com. Accessed May 2021.

Middlesex County maps and atlases: 1908.

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10025:100 (1962), 23956:400 (1993).

Plan of Pine Lakes, Sudbury, Mass. (April 1927). Robert B. Bellamy, surveyor. Middlesex South Registry of Deeds, Plan Book
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Resident/voting lists, Town of Sudbury: 1946, 1969.

Scott, Laura. *Sudbury: A Pictorial History*. Norfolk, VA: Donning Co., 1989.

Sudbury directories: 1926, 1930, 1936.

Tax valuations, Town of Sudbury: 1921, 1942.

Town of Sudbury zoning map: 1938.

USGS topographical maps: 1943, 1950 (Maynard quadrangle).

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

F04-0135	Maynard		SUD.442
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town/City: Sudbury
Place: (*neighborhood or village*): Pine Lakes

Address: 11 Pinewood Avenue
Historic Name: Arthur and Mary Chalk House

Uses: Present: residential
 Original: residential

Date of Construction: ca. 1928-1932

Source: deeds

Style/Form: Craftsman

Architect/Builder: see narrative

Exterior Material:
 Foundation: concrete block

Wall/Trim: wood shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures: n/a

Major Alterations (*with dates*):
 replacement window sash (L 20th – E 21st c)

Condition: good

Moved: no yes **Date:**

Acreage: 0.23 acres

Setting: Early 20th c residential subdivision developed with small cottages on small lots; many have been enlarged or replaced. Flat lot with a moderate front setback, maintained chiefly in lawn.

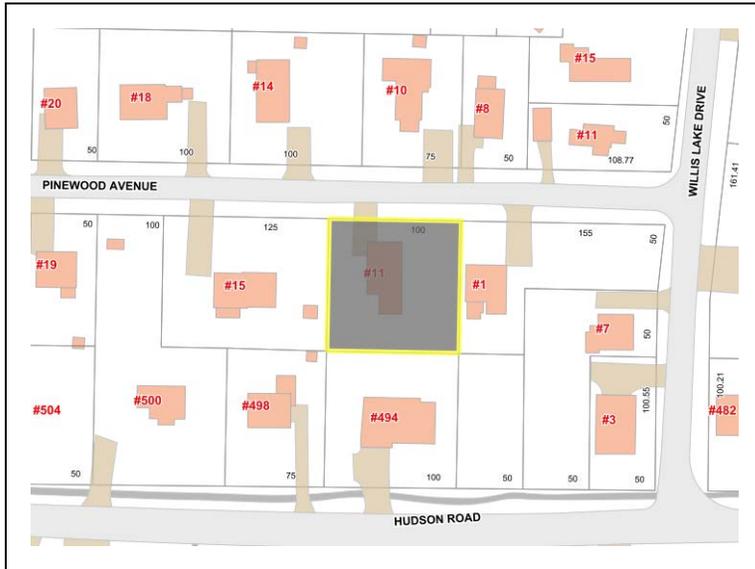
Photograph



East and façade (north) elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broome, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

11 PINWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.442

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

11 Pinewood Avenue is a small, L-shaped building rising one story to a hip roof. A brick chimney rises from the back slope of the main roof; a metal chimney protrudes from the east slope. Windows occur singly and in pairs and have 6/1 replacement sash and band molding. The façade (north elevation) is dominated by an enclosed sun porch with a single-leaf, center doorway, three banded windows on each side, and paired windows around the corners on the side elevations. The west elevation has another two single windows in the middle and a smaller window at the rear. The east elevation has, in addition to the sunporch windows at the front, two single windows and paired windows in the middle, and one window towards the back, on the rear ell. The ell has a pitched roof; it is not clear from the street whether its shape is gabled or hipped.

Well preserved and maintained, 11 Pinewood Avenue is one of the better preserved examples of modest, early 20th century summer cottages in Sudbury. Notable architectural features include its small scale, simple massing, wood shingle siding, front sunporch, variety of intact fenestration, and historic window trim.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Reflecting the first phase of development at Pine Lakes, a wooded waterside subdivision of small houses and seasonal cottages known as camps, this house was likely built by its original and longtime owners, Arthur and Mary A. Chalk of Cambridge. Arthur Chalk was a carpenter and later a building contractor. The house occupies Lots 63 and 64, which he purchased in 1928; in 1930, Mary Chalk acquired title to the adjacent lots 61 and 62, yielding a 10,000 square-foot property. Arthur Chalk (1885-1946) was born in Elliston-Trinity Bay, Newfoundland, and immigrated to the United States about 1912. He and his wife lived here year-round from ca. 1942 onward, when he was employed by M. S. Kelliher Company builders, based on Eustis Street in Roxbury. In contrast to other Pine Lakes dwellings assessed as camps in the town's 1942 tax valuation, this dwelling was assessed as a house, indicating year-around use. The house remained in the Chalk family until 1955, owned for part of that time by Arthur and Mary's oldest daughter, Frances Rita (Chalk) Lenzi of Somerville. Owners in 1969 were Joseph DiCarlo, who was also a carpenter, and his wife, Grace.

Real estate speculators, typically from the Boston area, began developing recreational camps in this part of Sudbury in the 1920s, offering ready access to hunting, fishing, swimming, and boating on Bottomless Pond (Crystal Lake) and the Great Pond (Willis Pond). Pine Lakes was one of at least five camp districts in eastern Massachusetts developed by John Adams, Eugene Hamilton, and Ervin R. Dix of in the late 1920s and early 1930s. Others included Silver Lake Pines in Wilmington, Riverview in Tewksbury, Lakewood Pines in Stoughton, and River Pines in Billerica. Pine Lakes acquired an increasingly suburban character after World War II. Residents formed the Pine Lakes Protective and Improvement Association by 1942, which maintained a club house in the neighborhood. Its successor group, formed in 1964, was the Pine Lakes Civic Committee, which advocated for road improvements, demolition of abandoned buildings, and improvements to gas and water distribution systems [Scott, 155].

BIBLIOGRAPHY and/or REFERENCES

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

11 PINWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	SUD.442
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Middlesex County maps and atlases: 1908.

Middlesex South Registry of Deeds: 5272:537 (1928), 5428:21 (1930), 5690:377 (1932), 8566:66 (1955).

Plan of Pine Lakes, Sudbury, Mass. (April 1927). Robert B. Bellamy, surveyor. Middlesex South Registry of Deeds, Plan Book 394, Plan 37 (per deeds).

Resident/voting lists, Town of Sudbury: 1946, 1969.

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Sudbury directories: 1926, 1930, 1936.

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Town of Sudbury zoning map: 1938.

U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.

USGS topographical maps: 1943, 1950 (Maynard quadrangle).

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

F04-0204	Maynard		SUD.443
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Town/City: Sudbury
Place: (*neighborhood or village*): Pine Lakes

Address: 14 Pinewood Avenue
Historic Name: Ellen T. Flemming House

Uses: Present: residential
Original: residential

Date of Construction: ca. 1928-1930

Source: deeds, visual inspection

Style/Form: Craftsman

Architect/Builder: not determined

Exterior Material:
Foundation: concrete block
Wall/Trim: wood shingle/vinyl
Roof: asphalt shingle

Outbuildings/Secondary Structures: n/a

Major Alterations (*with dates*):
replacement window sash and modern casement windows (L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 0.23 acres

Setting: Early 20th c residential subdivision developed with small cottages on small lots; many have been enlarged or replaced. Flat lot with a moderate front setback, maintained chiefly in lawn.

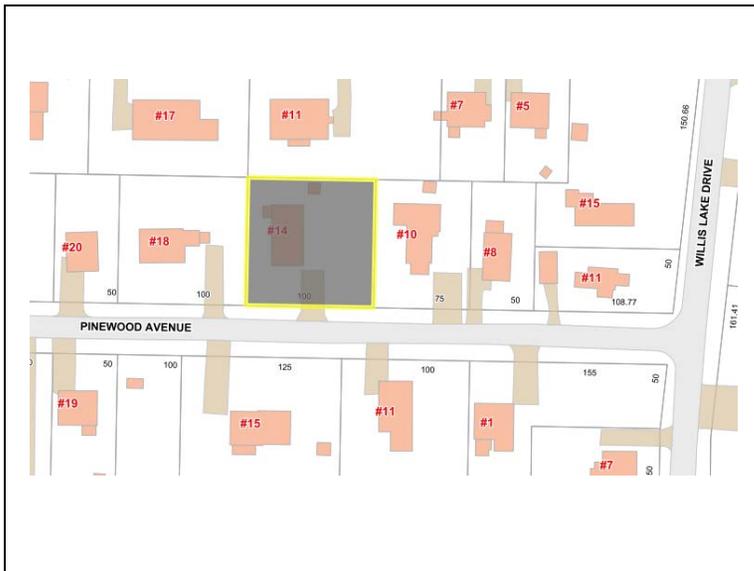
Photograph



Façade (south) and east elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

14 PINWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.443

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 14 Pinewood Avenue is a small rectangular building rising one story to a hip roof; no chimneys are visible. Windows typically appear in pairs and triplets and have casement sash without trim. The façade (south elevation) has a single-leaf door positioned slightly off center, with a triplet of windows on each side and a low, hip-roofed dormer with a casement sash centered on the roof slope above. The east elevation contains two pairs of casement windows towards the front, a high awning window in possibly the house's only historic (double-hung) window in the center, and a triplet of casement windows at the rear. The west elevation features three sets of paired casement windows and one triplet of casement windows.

Well maintained, 14 Pinewood Avenue represents the much altered condition of most of Sudbury's early 20th century cottages. Notable architectural features include its simple massing, wood shingle siding, façade dormer, and presumably the originally off-center front door.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house represents the earliest phase of construction at Pine Lakes, which acquired an increasingly suburban character after World War II. Ellen T. Flemming of Readville (Hyde Park), Boston, acquired Lots 8, 9, and 10 in the Pine Lakes subdivision in 1928, and held the title until 1944. Deeds do not explicitly reference buildings here until 1944, which is not uncommon. The architectural design points to a likely construction date in the late 1920s or early 1930s, and the house is present on a 1938 aerial photograph of Pine Lakes. A single woman, Ellen Flemming was employed in 1930 as a time keeper at a loom factory in Boston, but relocated to Whitman, Massachusetts by 1940. She co-owned this Pine Lakes house with George R. Sherriff, also of Whitman; both were employed in the early 1940s at the United Shank and Finding Company in that town. Sherriff and Flemming were assessed for a bungalow in Sudbury's 1942 tax valuation, indicating the house was winterized and usable year-round, in contrast to seasonal dwellings at Pine Lakes that were classified as camps. Subsequent owners of this house included members of the Hanson-Crotty family from 1967 to the present.

Associated with a boom in recreational camp development in the early 20th century, Pine Lakes is one of at least five camp districts in eastern Massachusetts established by a team of real estate investors in the late 1920s and early 1930s. Real estate brokers John Adams of Medford and Eugene B. Hamilton of Somerville, along with Ervin R. Dix of Arlington, a lumber dealer, sold building lots here and at Silver Lake Pines in Wilmington, Riverview in Tewksbury, Lakewood Pines in Stoughton, and River Pines in Billerica. Pine Lakes offered a wooded waterside setting for hunting, fishing, swimming, and boating on Great Pond (Willis Pond) and Bottomless Pond (Crystal Lake). Residents formed the Pine Lakes Protective and Improvement Association by 1942, which maintained a club house in the neighborhood. Its successor group, formed in 1964, was the Pine Lakes Civic Committee, which advocated for road improvements, demolition of abandoned buildings, and improvements to gas and water distribution systems [Scott, 155].

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Historic aerial view of Pinewood Avenue, Sudbury (1938). <https://www.historicaerials.com/viewer>. Accessed May 2021.

Middlesex County maps and atlases: 1908.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

14 PINEWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.443
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Plan of Pine Lakes, Sudbury, Mass. (April 1927). Robert B. Bellamy, surveyor. Middlesex South Registry of Deeds, Plan Book 394, Plan 37 (per deeds).

"Real estate transactions. Seasonal opening at various land developments." *Daily Boston Globe* (1928-1960); June 5, 1932; ProQuest Historical Newspapers; The Boston Globe, p. A28.

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Sudbury directories: 1926, 1930, 1936.

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Town of Sudbury zoning map: 1938.

U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com Accessed May 2021.

USGS topographical maps: 1943, 1950 (Maynard quadrangle).

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

F04-0127	Maynard		SUD.444
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town/City: Sudbury
Place: (*neighborhood or village*): Pine Lakes

Photograph



Address: 21 Pinewood Avenue
Historic Name: Irving and Ethel Litchfield Camp
Uses: Present: residential
 Original: residential
Date of Construction: ca. 1932
Source: deeds
Style/Form: Craftsman
Architect/Builder: not determined

Exterior Material:
 Foundation: concrete block
 Wall/Trim: wood shingle/wood
 Roof: asphalt shingle

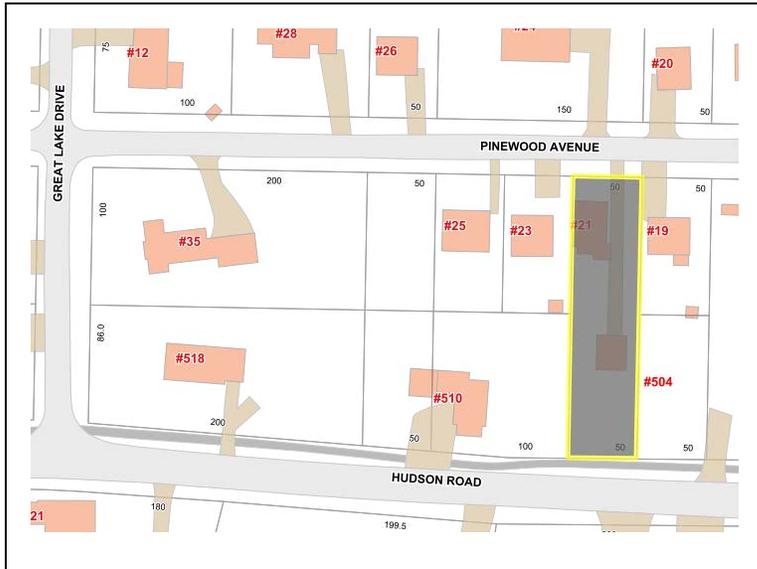
Outbuildings/Secondary Structures: garage

Major Alterations (*with dates*): replacement window sash (L 20th – E 21st c)

Condition: good
Moved: no yes **Date:**
Acres: 0.23 acres

Setting: Early 20th c residential subdivision developed with small cottages on small lots; many have been enlarged or replaced. Flat lot with a moderate front setback, maintained chiefly in lawn.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

21 PINEWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.444

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

21 Pinewood Avenue is a small rectangular building rising one story to a hip roof. A concrete block chimney rises near the center of the east elevation. Relatively deep roof eaves are trimmed with exposed rafter ends. Windows are typically regularly arrayed, occur singly on the side elevations and in pairs on the façade, and have 1/1 sash with band molding. The façade (north elevation) has a single-leaf, center door flanked by paired windows on each side. The west elevation has three evenly spaced windows, the rearmost being small and without trim. The east elevation features one standard-size window towards the front and a smaller window without trim behind the chimney. At the southeast corner of the house is a small rectangular projection with a shed roof, one window facing the street, and a band of three windows facing the side; its visible windows have 2/1 replacement window sash.

Well preserved and maintained, 21 Pinewood Avenue is an excellent example of early 20th century cottage development in Sudbury, despite replacement window sash and a couple of modern window additions. Notable architectural features include its small scale, simple massing, concrete block chimney, exposed rafter ends, wood shingle siding, mostly intact fenestration, and historic window trim.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

An important example of summer camp construction in Sudbury, this dwelling illustrates the first phase of development in Pine Lakes after the sale of building lots began here in 1927. The area of Sudbury west of the town center was sparsely settled until the 1920s, when real estate speculators, typically from the Boston area, began developing recreational camps, many in wooded waterside locations that offered access to hunting, fishing, swimming, and boating. Property owners at Pine Lakes enjoyed proximity to the Great Pond (Willis Pond) and Bottomless Pond (Crystal Lake). Early residents tended to be from Boston and neighboring towns. This house occupies Lots 50 and 51 of the 1927 subdivision plan. The property boundaries currently preserve four of the original 2,500-square-foot building lots, providing access to both Pinewood Avenue and Hudson Road.

Ownership changes and the architectural design suggest a likely construction date by the early 1930s, and the house is present on a 1938 aerial photograph of Pine Lakes. Alfred Rhodes of Brighton (Boston) acquired Lots 50 and 51 from the developers of Pine Lakes in 1930. He was employed as a laborer in a slaughterhouse. In 1932, Irving E. Litchfield of North Quincy and his wife, Ethel, purchased the property, and remained the owners until 1943, by which time the deeds began referring to buildings present. Irving Litchfield was an electrician for a power plant. The 1942 tax valuation describes this building as a camp, suggesting it remained in seasonal use, and was not yet occupied year-round. Longtime owners Vincent and Jennie Franco moved to Sudbury from Arlington and lived here from 1943 to 1980. Vincent Franco was employed as an automobile mechanic. He served as an appointed sergeant in Sudbury's Auxiliary Police Association, formed in 1955 to assist the Police Department in emergency situations.

Pine Lakes acquired an increasingly suburban character after World War II. Residents formed the Pine Lakes Protective and Improvement Association by 1942, which maintained a club house in the neighborhood. Its successor group, formed in 1964, was the Pine Lakes Civic Committee, which advocated for road improvements, demolition of abandoned buildings, and improvements to gas and water distribution systems [Scott, 155].

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

21 PINWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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- Historic aerial view of Pinewood Avenue, Sudbury (1938). <https://www.historicaerials.com/viewer>. Accessed May 2021.
- Middlesex County maps and atlases: 1908.
- Middlesex South Registry of Deeds: 5438:179 (1930), 5653:236 (1932), 6698:27 (1943), 13890:197 (1980).
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- Tax valuations, Town of Sudbury: 1921, 1942.
- Town of Sudbury zoning map: 1938.
- U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.
- USGS topographical maps: 1943, 1950 (Maynard quadrangle).
- Various references to Vincent Franco in Sudbury newspapers. Sudbury Newspaper Archive. <http://sudbury.advantage-preservation.com>. Accessed May 2021.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

F04-0133	Maynard		SUD.445
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Town/City: Sudbury
Place: (*neighborhood or village*): Pine Lakes

Address: 25 Pinewood Avenue

Historic Name: Thomas A. O'Loughlin Camp

Uses: Present: residential

Original: residential

Date of Construction: ca. 1935

Source: deeds, aerial view

Style/Form: Craftsman

Architect/Builder: not determined

Exterior Material:

Foundation: concrete block

Wall/Trim: clapboard/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:

n/a

Major Alterations (*with dates*):

picture window?, replacement window sash (L 20th – E 21st c)

Condition: good

Moved: no yes **Date:**

Acreage: 0.11 acres

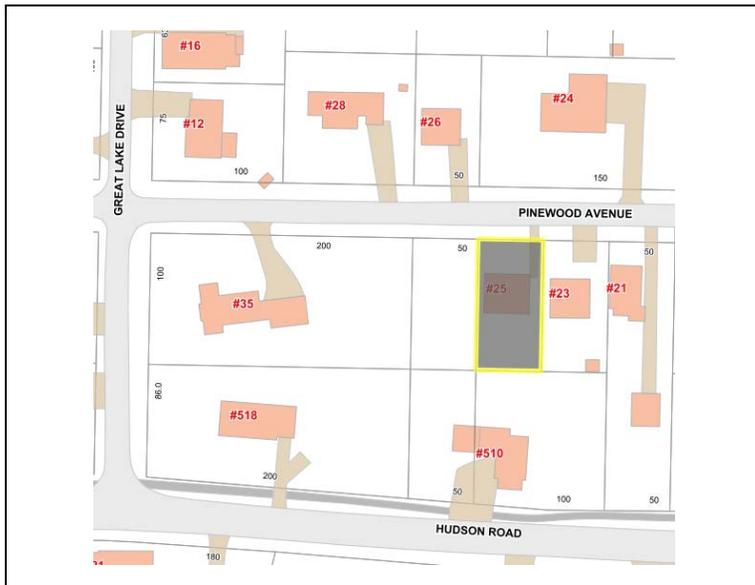
Setting: Early 20th c residential subdivision developed with small cottages on small lots; many have been enlarged or replaced. Flat lot with a moderate front setback, maintained chiefly in lawn.

Photograph



East and façade (north) elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broome, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

25 PINEWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.445

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

25 Pinewood Avenue is a small, rectangular building that rises one story to a side-gabled roof. A substantial exterior chimney rises up the east elevation. Clapboard walls are rimmed with flat corner boards; the deep roof eaves are supported by angled braces and sheathed with horizontal wood boards at the gable ends. Windows are typically small, occur singly, and have 1/1 replacement sash and flat trim. The façade (north elevation) has a picture window towards the east and two small single windows. The asymmetrical west elevation also has two small windows. The east elevation has a single-leaf door with flat trim towards the front and the exterior chimney in the center.

25 Pinewood Avenue is an eccentric example of early 20th century cottage development in Sudbury. Notable architectural features include its small scale, simple massing, deep eaves with board sheathing and unusual brackets, clapboard siding, side-facing door, and modest fenestration.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house is associated with a boom in recreational camp development in Sudbury and eastern Massachusetts generally between the World Wars. Pine Lakes offered its seasonal visitors a wooded waterside setting for hunting, fishing, swimming, and boating on Great Pond (Willis Pond) and Bottomless Pond (Crystal Lake). Its developers, real estate speculators from the Boston area, sold building lots here and at Silver Lake Pines in Wilmington, Riverview in Tewksbury, Lakewood Pines in Stoughton, and River Pines in Billerica. Seasonal cottages, known as camps, and small houses were built at Pine Lakes from 1927 through the early 1940s. After World War II, the neighborhood became increasingly suburban in character, with more residents occupying their properties year-round.

Camping districts in Sudbury and elsewhere were distinguished by their small building lots. Buildings lots at Pine Lakes were generally 2,500 square feet in area. Many owners built their houses on two lots initially, and added adjacent parcels to their holdings as circumstances allowed. Thomas A. O'Loughlin acquired his first two parcels at Pine Lakes in 1935, and added two more contiguous parcels in 1940, yielding a property of 10,000 square feet. A resident of the Mattapan neighborhood of Boston in 1940, O'Loughlin was employed as a public school teacher. He and his wife, Margaret, had four children. The 1942 tax valuation describes this building as a camp, indicating it had not yet been converted to year-round use. The property remained in the O'Loughlin family until 1964. Later residents included Brendan O'Neill, Jr. and his wife, Ruth, who relocated from Waltham and owned the property from 1967 to 1971. Brendan O'Neill was employed as a director in an undetermined industry.

BIBLIOGRAPHY and/or REFERENCES

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Middlesex County maps and atlases: 1908.
Middlesex South Registry of Deeds: 5918:49 (1935), 6442:463 (1940), 10810:387 (1964), 11326:433 (1967), 12053:118 (1971).
Plan of Pine Lakes, Sudbury, Mass. (April 1927). Robert B. Bellamy, surveyor. Middlesex South Registry of Deeds, Plan Book 394, Plan 37 (per deeds).
Resident/voting lists, Town of Sudbury: 1946, 1969.
Sudbury directories: 1930, 1936.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

25 PINWOOD AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	SUD.445
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Tax valuations, Town of Sudbury: 1942.

Town of Sudbury zoning map: 1938.

U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.

USGS topographical maps: 1943, 1950 (Maynard quadrangle).

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

K09-0442	Framingham	SUD.B, I	SUD.270
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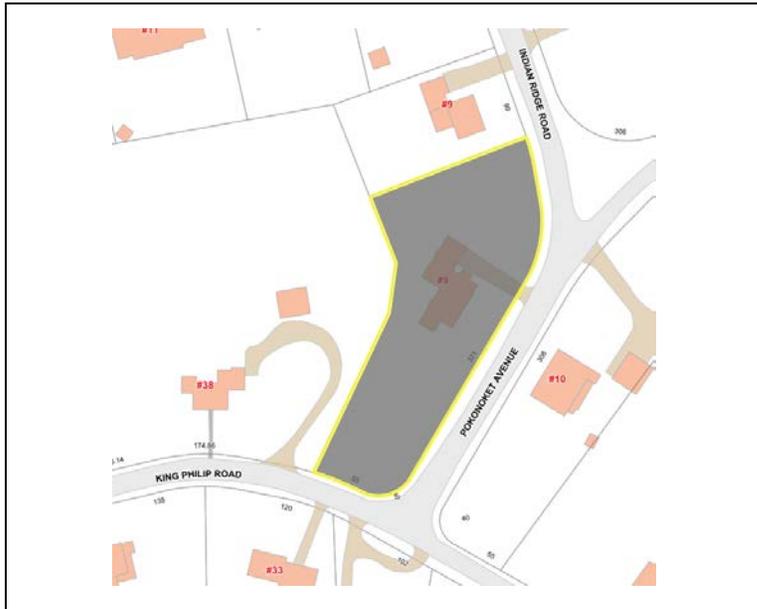
LHD 04/10/1972

Photograph



Façade (east) and north elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 9 Pokonoket Avenue

Historic Name: Clara Grant Bowry House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1926-1935

Source: deeds, directories, census

Style/Form: Colonial Revival/cape

Architect/Builder: not determined

Exterior Material:

Foundation: stone

Wall/Trim: wood shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:

n/a

Major Alterations (*with dates*):

side and rear additions, replacement window sash (L 20th – E 21st c)

Condition: fair

Moved: no yes **Date:**

Acreage: 0.78 acres

Setting: Located on a corner lot at the southern edge of a large area of 20th century residential development. The property is included in the King Philip Historic District by virtue of its proximity to King Philip Road. The large, long lot is mostly flat and maintained in lawn.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

9 POKONOKET AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I	SUD.270
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Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

9 Pokonoket Avenue is a 1½ story dwelling consisting of a long, side-gabled main block with a medley of side and rear extensions and an attached garage, all with gabled roofs. A chimney rises from the southern end of the main ridge. Walls are clad with wood shingles; no eave trim is visible from the street. Windows typically occur singly and have 6/6 or 8/8 sash with flat trim; they are set tight to the roof eave on the first floor. The asymmetrical façade of the main block has an entrance positioned slightly off-center, flanked by a single window on the south and paired windows to the north. The doorway consists of a single-leaf door framed by fluted pilasters and a flat fascia. Two small gabled dormers rise from the front slope of the roof. The south elevation of the main block has one window towards the front of the elevation and two smaller windows centered in the half-story. A shed-roofed dormer (1978) is visible on the back slope of the roof, at its southern end. A one-story projection at the rear of the south elevation contains a single-leaf door centered between two windows on its facade, and a band of three windows on its south elevation. The northern-most bay of the main façade is very slightly recessed. Its north elevation has a gabled entrance vestibule (1978) and one window on the first floor, and two smaller windows centered in the half-story above. A two-part wing at the northwest corner of the main block consists of a 1½ story connector adjacent to the house, and a one-story, one-car garage with a salt-box roof. The rear slopes of the north end of the main block and of the connector have been raised to provide additional living space.

9 Pokonoket Avenue is a nondescript and much altered example of early 20th century residential development in Sudbury, occupying a prominent site in a local historic district. Notable historic features include the small scale and simple massing of the original dwelling.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This cottage is among the earlier dwellings constructed in the King Philip Heights subdivision, which extended from Pokonoket Avenue and Hillside Place west to Massasoit Avenue. Sudbury resident Lawrence B. Tighe subdivided the tract in 1924 as an investment property. Deed restrictions often governed the character of development before adoption of a town zoning bylaw, which did not occur in Sudbury until the late 1930s. Here, restrictions called for construction of only a single dwelling house on the premises, costing not less the \$5,000. A private garage was to be erected and maintained on the premises, no building was to be placed within 25 feet of a road, and no building constructed on the premises could be used as a “store or public resort.” Tighe only sold lots to about a half dozen individuals before conveying the bulk of his holdings in 1926 to Margherita (Margaret) S. Galbo of Sudbury. She was the proprietor of Ye Old Barbecue Inn on Boston Post Road West. Her husband, Charles Galbo, was a real estate broker in Boston. The King Philip Heights development venture apparently failed by the early 1930s during the Depression.

While the history of this house and parcel between 1926 and 1935 is unclear, the property – encompassing Lots 62, 63, and 64 of the original subdivision – was associated with two families through the 1970s. In 1935, Clara Grant Bowry (1864-1961), widow of Ernest W. Bowry, conveyed an interest in this property, with the house already thereon, to her daughter, Beatrice. Both women resided here in 1940 with Beatrice’s new husband, Henry T. Cutter. Cutter was employed an executive in a retail department store. It appears the census taker in 1940 incorrectly recorded their address as Massasoit Avenue; deeds and directories confirm this family lived on Pokonoket Avenue. The Bowrys relocated from Boston to Sudbury by 1926, initially living on King Philip Road with their son and brother, E. Norman Bowry, who was a purchasing agent for Simplex Wire and Cable Company in Cambridge. A tennis court was present on this property as early as 1942. Louise F. Wynne owned this house from

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

9 POKONOKET AVE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.B, I	SUD.270
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1947 to 1975. The widow of Cyril Wynne, former bureau chief with the U. S. State Department in Washington, DC and Japan, she grew up in Newton and graduated from Radcliffe College as a member of Phi Beta Kappa. Mrs. Wynne served on the Sudbury Welfare Boards and was a past president of the town's Public Health Nursing Association between 1951 and 1968. She maintained a book bindery in her home, binding books by hand.

BIBLIOGRAPHY and/or REFERENCES

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- Bowry, Ernest Norman. Registration card, serial no. U1352. *U. S., World War II Draft Registration Cards, 1942*. Database and images. www.ancestry.com. Accessed May 2021.
- "Estate of Margherita S. Galbo." Legal notice in *Sudbury Enterprise* (July 5, 1933), 7:1.
- Middlesex County maps and atlases: 1908.
- Middlesex South Registry of Deeds: 4907:85 (1925), 6628:264 (1935), 7210:399 (1947), 12868:523 (1975).
- Resident/voting lists, Town of Sudbury: 1946, 1969.
- Sudbury directories: 1926, 1930, 1936.
- "Sudbury scene [Wynne book bindery]." *Sudbury Citizen* (July 8, 1971), 4:9.
- Tax valuations, Town of Sudbury: 1942.
- Town of Sudbury zoning map: 1938.
- USGS topographical maps: 1943, 1951 (Framingham quadrangle).
- Wynne, Louise (French). *Sudbury Town Crier and Fence Viewer* (April 10, 1975), 4:3.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

K09-0454	Framingham		SUD.446
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Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 23 Pokonoket Avenue

Historic Name: Starratt House

Uses: Present: residential
Original: residential

Date of Construction: ca. 1918-1921

Source: deeds, tax valuation

Style/Form: Craftsman/bungalow

Architect/Builder: not determined

Exterior Material:

Foundation: stone
Wall/Trim: wood shingle/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:
attached garage

Major Alterations (*with dates*):
replacement window sash (L 20th – E 21st c)

Condition: good

Moved: no yes **Date:**

Acreage: 1.90 acres

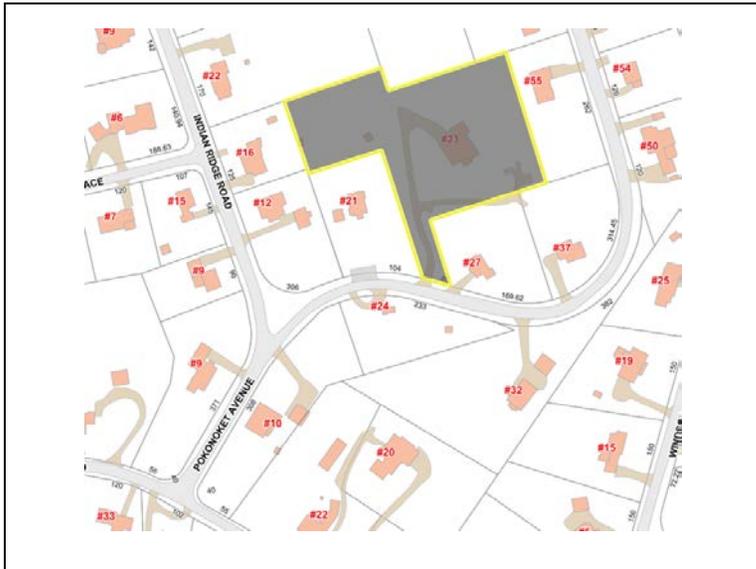
Setting: Isolated hillside site surrounded by a residential subdivision with a variety of 20th century houses regularly spaced on moderately-sized parcels. Yard is maintained in grass, ground cover plantings, and woodland. A grand fieldstone stairway is located at the south end of the building.

Photograph



Façade (west elevation).

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

23 POKONOKET AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.446

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

Perched over a steep hillside, 23 Pokonoket Avenue is fundamentally a T-shaped building. The building rises to a 2-story, side-gabled main block with a 1½ story gabled wing projecting at the front of the house. Given the building's hillside setting, its basement is fully exposed at the front. A secondary, 2-story gabled ell projects from a rear corner. Wood-shingled walls are trimmed with a narrow molded fascia at the front porch and shaped exposed rafter ends at the 2-story block. Windows occur singly and in pairs, and typically have 1/1 replacement sash with band molding. For ease of terminology, the building is assumed to face west; it more accurately faces southwest. The front-gabled wing and its U-shaped porch rise above a massive fieldstone foundation. Semi-circular openings high in the foundation's west and south walls are screened with turned wood spindles. A tall open passageway spans the basement under the front of the porch; within, a set of double-leaf wood doors with glass and wood panels is recessed into the basement of the house. Appended to the north side of the porch basement is a small, one-bay garage constructed of fieldstone and topped by a front-gable roof with shaped, exposed rafter ends. The garage has a three-part door with glass and wood panels. Granite steps and retaining walls rise up the hillside to the south side of the porch. The front porch is enclosed by low shingled walls, above which Tuscan columns support a heavy entablature and a flat or very low-pitched roof with exposed joists in the ceiling. The front wing of the building has two large windows on the north side of the porch, three on the west side (front), and one window and a single-leaf door on the south side. The main entrance to the house is through a single-leaf door at the northeast corner of the porch; it leads into the 2-story main block. The half-story of the front wing has a window or single-leaf door (not clearly visible from the ground) centered in the peak. The main block has irregular fenestration on all but its south elevation, which has two windows on each floor. The rear of the building has a gabled, two-story, perpendicular wing positioned towards the north. Two pairs of six-light casement windows occupy its southeast corner on the first floor. The rear elevation contains two single-leaf doors with curved, metal awnings—one on the main block and one on the rear ell.

Well preserved and well maintained, 23 Pokonoket Avenue is an informal yet well-crafted and unusually intact example of early 20th century development in Sudbury. Notable design features include the building's dramatic siting; unconventional massing; bold fieldstone foundation, garage, and landscape elements; ample porch; historic fenestration and trim; decorative rafter ends; and shingle siding.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Precipitating a new phase of residential development at South Sudbury that contributed to the town's transition from an agricultural community to a bedroom suburb of Boston, the Starratt House may be the first dwelling constructed in the neighborhood that became known in 1924 as King Philip Heights. In 1918, real estate broker Albert Wilbert Starratt (1876-1923) and his wife, the former Edith M. Tighe, purchased the Richardson-Morse House, 22 King Philip Road (see form), and moved from Brookline to Sudbury. Three years later, Edith M. Starratt was assessed for what was then a 38-acre farm, incorporating the barn and related agricultural buildings associated with Richardson-Morse House. Also on the property was a bungalow. The circumstances that led to the bungalow's construction, and its first occupants, have not been determined. Deeds indicate this house at 23 Pokonoket is likely the Starratt bungalow, as the parcel falls within the acreage associated with the Richardson-Morse House and subsequently subdivided by Edith Starratt. After her husband's death, she and her younger brother, Lawrence Tighe, began subdividing the 38-acre farm to create the King Philip Heights neighborhood on the western and southern slopes of Green Hill.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

23 POKONOKET AVE

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.446

The Danforth family owned this house for twenty years. Emma S. Danforth of Medford purchased the Starratt bungalow, on four acres, from Lawrence Tighe in 1925. Her husband, Samuel L. Danforth, was a furniture salesman in Boston. The house was described as the "large bungalow" both in deeds and the 1942 valuation. Dr. Karl Whitney and his wife, Virginia, divided the property in 1948, leaving the house on 3.6 acres and conveying a separate lot with Dr. Whitney's office to the Sudbury Public Health Nursing Association, Inc. for use as the agency's headquarters. Further research of abutting properties would be needed to confirm whether the office also survives. Dorothy Tooker acquired the Starratt bungalow in 1953. She was active in the Public Health Nursing Association and the town's Housing Survey Committee. This house remained in the Tooker family for thirty-nine years, until 1992.

BIBLIOGRAPHY and/or REFERENCES

"History of Nursing Asso. – Part 2." *Sudbury Citizen* (May 3, 1956), 6:2.

Middlesex County maps and atlases: 1908.

Middlesex South Registry of Deeds: 4857:263 (1925), 6909:132 (1945), 7484:270 (1949), 8142:593 (1953), 22275:500 (1992).

Resident/voting lists, Town of Sudbury: 1946, 1969.

Sudbury directories: 1904, 1911, 1913, 1915, 1926, 1930, 1936.

Tax valuations, Town of Sudbury: 1921, 1942.

Town of Sudbury zoning map: 1938.

U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.

USGS topographical maps: 1943, 1951 (Framingham quadrangle).

SUPPLEMENTARY IMAGES



North and façade (west) elevations.



South and east elevations.

	SUD.446
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National Register of Historic Places Criteria Statement Form

Check all that apply:

- Individually eligible Eligible **only** in a historic district
- Contributing to a potential historic district Potential historic district

Criteria: **A** **B** **C** **D**

Criteria Considerations: **A** **B** **C** **D** **E** **F** **G**

Statement of Significance by Wendy Frontiero and Kathleen Kelly Broomer
The criteria that are checked in the above sections must be justified here.

The Starratt House may be the first dwelling constructed in what became the King Philip Heights subdivision, a new phase of residential development at South Sudbury that contributed to the town’s transition from an agricultural community to a bedroom suburb of Boston. The dwelling appears to be a bungalow associated with a large agricultural parcel that was owned by a real estate broker and his wife and was later subdivided for house lots. Well preserved and well maintained, 23 Pokonoket Avenue is an informal yet well-crafted and unusually intact example of early 20th century development in Sudbury. Notable design features include the building’s dramatic siting; unconventional massing; bold fieldstone foundation, garage, and landscape elements; ample porch; historic fenestration and trim; decorative rafter ends; and shingle siding.

Retaining integrity of location, design, setting, materials, workmanship, feeling, and association, 23 Pokonoket Avenue is recommended for the National Register with significance at the local level. Information on historic interiors would be required for MHC to confirm this recommendation.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

K08-0010	Framingham		SUD.447, SUD.448
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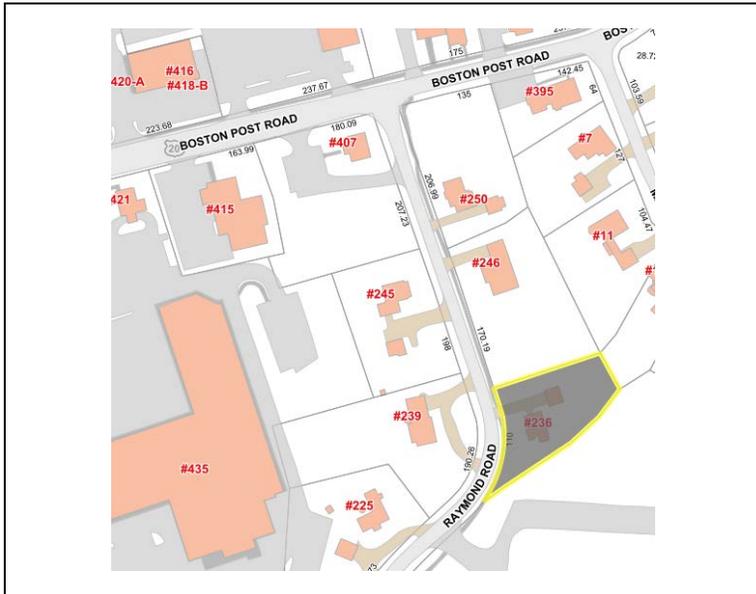
Photograph



Façade (west) and south elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 236 Raymond Road

Historic Name: Richard and Sylvia Kidwell House and Garage

Uses: Present: residential

Original: residential

Date of Construction: ca. 1932

Source: deeds, *Sudbury Enterprise*

Style/Form: Colonial/Tudor Revival

Architect/Builder: see narrative

Exterior Material:

Foundation: concrete

Wall/Trim: wood shingle/wood

Roof: asphalt shingle

Outbuildings/Secondary Structures:
garage

Major Alterations (*with dates*):

side porch (L 20th c) – replacement window sash (L 20th – E 21st c)

Condition: good

Moved: no yes **Date:**

Acreage: 0.41 acres

Setting: Located at the northern end of a main north/south thoroughfare, near its intersection with Boston Post Road. The immediate vicinity is well-developed with residential buildings on moderately sized lots; adjacent to a large recreational field immediately to the south. Flat lot maintained principally in lawn.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

236 RAYMOND RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	SUD.447, SUD.448
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Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The **house** at 236 Raymond Road is a rectangular building rising 1 to 1½ stories above a low foundation to a front-gabled roof. The volume is enriched with a substantial front entrance vestibule, a large screened-porch on the south side, and shed-roofed dormers on both of the main roof slopes. Walls are sheathed with wood shingles and trimmed with bed molding at the horizontal eaves and a narrow molded fascia at the raking eaves. An exterior chimney rises up the center of the façade (west elevation.) Windows typically have 6/6 replacement sash with band molding and occur singly. A one-story, gabled vestibule dominates the facade, projecting from the southwest corner of the building. A single-leaf door with band molding is centered in its façade, and two small 3/3 windows are set on its south elevation. The north slope of the main roof swoops down in a gentle curve to encompass a narrow one-story end bay. Shed-roofed dormers span most of the north and south elevations, each having two widely spaced windows. The large side porch has a low shed roof and is elevated by what appear to be wood posts. A modern rear deck with square balusters seems to span the rear (east) elevation.

Positioned to the northeast of the house, a one-story **garage** has a front-gable roof, wood shingle siding, a multi-pane window (6/6 or 8/8) centered on the north elevation, and two individual vehicle bays on the front. The northernmost garage opening has a trio of early glass- and wood-paned doors.

Well preserved and well maintained, 236 Raymond Road is a good example of modest, early 20th century development in Sudbury. Notable features include its original or early garage, sweeping roofline, prominent exterior chimney of the façade, offset entry vestibule, and intact dormers, fenestration, and trim.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Sudbury carpenter and builder Arthur H. White likely constructed the house about June 1932, when the *Sudbury Enterprise* reported: "Arthur H. White will soon have the house he is building on Raymond road, South Sudbury ready for occupancy." While the source of the architectural design has not been identified, this house appears to be an example of the popular pre-World War II mail-order houses, also known as ready-cut, kit, or catalog houses. Shipped in pieces by rail or truck for assembly on site, the mail-order house was marketed toward the novice home-builder. As an experienced home builder, Arthur White may have experimented with the mail-order house for the cost savings it reportedly offered over a conventional stick-built dwelling. One of the earliest businesses in the nation to produce prefabricated modular buildings was the E. F. Hodgson Company in Dover, Massachusetts, founded in 1892. Hodgson maintained a model home and sales location in Sudbury at 707 Boston Post Road (ca. 1920s-1930s, SUD.323). By the 1910s, the Midwest was the nation's major center for mail-order house companies, chief among them Gordon-Van Tine Company; Aladdin Company; Sears, Roebuck and Company; Montgomery Ward and Company, Lewis Manufacturing Company, and Sterling Homes [Schweitzer and Davis, 63].

Arthur White (1892-1958) built houses in Sudbury and Maynard for many years, and served as a longtime member of the Sudbury Planning Board. He married Linda Arey in 1938 and they remained in Sudbury, residing on Concord Road, where White had lived since childhood. Sudbury directories and census records indicate he and his family did not reside here during their ownership of this house until 1944. While tenants have not been confirmed, heads of households who rented their homes on Raymond Road in 1940 and could have resided here include Elizabeth Atkinson, librarian at a private library; Harold Atkinson, a house painter; or Frank T. Davis, who was retired.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

236 RAYMOND RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	SUD.447, SUD.448
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This house occupies a site at the southern end of land Arthur White purchased in 1924 from the Holmes family of Sudbury. The 1942 tax valuation assesses White for land and buildings associated with his home lot (Concord Road), plus this house and accompanying garage on his "Holmes land." The first owner-occupants appear to have been Richard F. Kidwell and his wife, Sylvia, who moved to Sudbury in 1944 from Franklin. Kidwell was employed as a salesman for the Crouse-Hinds Company, a Boston dealer of electrical equipment. Other families who resided here after World War II included Thomas F. McCarthy, an engineer, and his wife, Myrna, in 1969. Formerly known as Hunt Road, Raymond Road was renamed for Boston department store president George J. Raymond and his family, who maintained a large estate in the early 20th century on both sides of the road, encompassing the former Walter Rogers farm and houses at 225 Raymond Road (SUD.29) and 245 Raymond Road (SUD.337), and the former Hunt farmsteads at 80 Raymond Road (SUD.27) and 85 Raymond Road (SUD.28).

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Boston directory: 1942.

E. F. Hodgson Company Showhouse, 770 Boston Post Road (SUD.323). Inventory form prepared by Gretchen Schuler for the Sudbury Historical Commission. July 2006/July 2007.

Middlesex County maps and atlases: 1908.

Middlesex South Registry of Deeds: 4731:361 (1924), 6796:566 (1944), 7317:444 (1948), 9195:454 (1958), 11369:63 (1967).

Resident/voting lists, Town of Sudbury: 1946, 1969.

Rogers-Raymond House, 225 Raymond Road (SUD.29) and Rogers-Nelson-Raymond House, 245 Raymond Road (SUD.337). Inventory forms prepared by Gretchen Schuler for the Sudbury Historical Commission. June 2007.

Schweitzer, Robert, and Michael W. R. Davis. *America's Favorite Homes. Mail-Order Catalogues as a Guide to Popular Early 20th-Century Houses*. Detroit, MI: Wayne State University Press, 1990.

"Sudbury [Arthur H. White building on Raymond Road]." *Sudbury Enterprise* (June 22, 1932), 8:2.

Sudbury directories: 1926, 1930, 1936.

Tax valuations, Town of Sudbury: 1921, 1942.

Town of Sudbury zoning map: 1938.

U. S. census records: 1850-1940 (excludes 1890). Database and images. www.ancestry.com. Accessed May 2021.

USGS topographical maps: 1943, 1951 (Framingham quadrangle).

White, Arthur H. Obituary. *Sudbury Citizen* (February 6, 1958), 6:3.

-----, Arthur Henry. Registration card, no. 2 (June 3, 1917). *U. S., World War I Draft Registration Cards, 1917-1918*. Database and images. www.ancestry.com. Accessed May 2021.

White, Linda. Obituary. *Sudbury Town Crier* (March 9, 2000), 10:5.

SUPPLEMENTARY IMAGES



Garage: North and façade (west) elevations.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

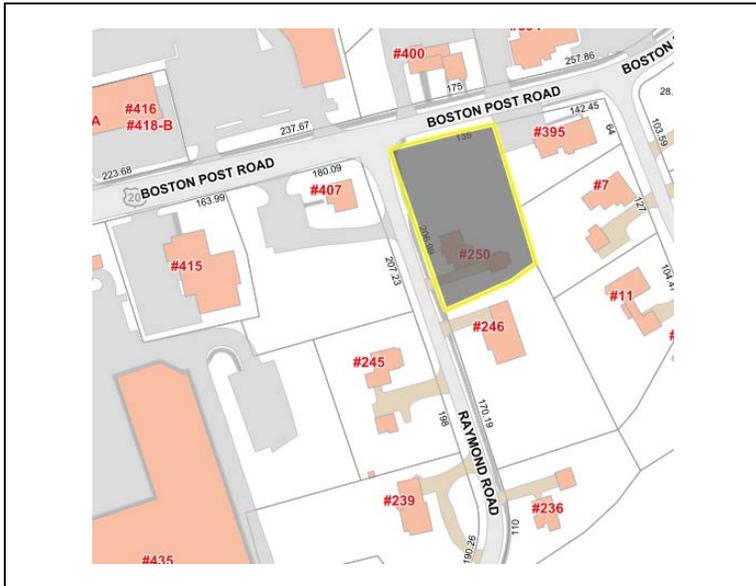
K08-0012	Framingham		SUD.449 SUD.450
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Photograph



North and façade (west) elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): September 2021

Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 250 Raymond Road
Historic Name: Liebman House and Garage

Uses: Present: residential
Original: residential

Date of Construction: ca. 1922-1929

Source: deeds

Style/Form: Colonial Revival

Architect/Builder: not determined

Exterior Material:

Foundation: concrete
Wall/Trim: clapboard/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:
garage

Major Alterations (*with dates*):

modified front porch, enclosed side porch (E 21st c?) –
replacement window sash (L 20th – E 21st c)

Condition: good

Moved: no yes **Date:**

Acreage: 0.62 acres

Setting: Located at the northern end of a main north/south thoroughfare, at its intersection with Boston Post Road. The immediate vicinity is well-developed with residential buildings on moderately sized lots. Flat lot maintained principally in lawn.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

250 RAYMOND RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.449,
SUD.450 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The house at 250 Raymond Road consists of a 1½ story, rectangular main block with a side-gambrel roof and a large one-story extension with a hip roof at the southeast corner. A small interior chimney is set at the south end of the ridgeline, and an exterior chimney constructed of small fieldstones rises up the center of the north elevation. Walls are sheathed with clapboards and trimmed with flat sill boards and corner boards and a narrow bed molding at the eaves. Windows are typically symmetrically arranged, occur singly, and have 6/6 replacement sash and flat casings. Shed-roofed dormers extending from the top slopes of the main gambrel roof are positioned on the façade (west) and rear elevations, spanning most of the length of the roof. The five-bay façade has a center entrance with a single-leaf door trimmed with flat casing. The doorway is fronted by a gabled portico with its pediment carried on turned columns that, if not original, are congruent with the period and style of the building. A former porch on the southeast corner of the main block is dominated by a modern bow window on the south elevation; a small rear entry has square balusters and a turned column similar to the front entry.

Positioned to the southeast of the dwelling, a garage with two individual vehicle bays has a front-gable roof, beveled clapboard siding, flat trim, and exposed rafter ends. A small 2/2 window is centered on the south elevation.

Well preserved and well maintained, 250 Raymond Road is a handsome example of early 20th century, middle class housing in Sudbury. Located on a corner lot, the siting of the building far from the well-traveled and commercialized Boston Post Road emphasizes the residential character of the streetscape. Notable design features include the gambrel roof with shed dormers, exterior stone chimney, symmetrical five-bay façade and north elevation, gabled entry porch, and side extension. Further investigation of the original front entry is merited. The intact, original or early garage with its beveled clapboards and exposed rafter ends is also significant.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

This house illustrates early 20th century suburban development at South Sudbury, adjacent to the town's expanding commercial district along Boston Post Road. Formerly known as Hunt Road, Raymond Road was renamed for Boston department store president George J. Raymond (1852-1915) and his family. The Raymonds maintained a large estate on both sides of the road, encompassing the former Walter Rogers farm and houses at 225 Raymond Road (SUD.29) and 245 Raymond Road (SUD.337), and the former Hunt farmsteads at 80 Raymond Road (SUD.27) and 85 Raymond Road (SUD.28). While the Raymonds owned much of the acreage in the vicinity, this house was developed on land associated with the abutting Cutler-Miles House, 7 Maple Avenue (ca. 1800, SUD.30). As late as 1921, Maud M. Miles, a widow, owned her house, barn, and 4½ acres of "home land" bounded by Maple Avenue on the east, Boston Post Road on the north, and Raymond Road on the west. In 1922, Mrs. Miles began partitioning her land for development, selling about 3½ acres with the buildings to siblings Brida M. Holmes and Vinnie C. Holmes of Hudson. The Holmeses were musicians who purchased the property for investment purposes, as they continued to reside in Hudson.

Construction of this house appears to have occurred between 1922 and 1929. The early history is complicated by multiple owners, mortgages, and at least two foreclosure auctions, held on January 11, 1926 and June 22, 1929. George L. Nolan of Wayland owned the house from 1929 – taking possession after foreclosing on a mortgage – to 1946. Nolan was a farmer who later worked for the U. S. Post Office in Worcester. There is no indication he moved to Sudbury. While earlier tenants have not been identified, by 1940 the Liebman family was renting this house. Louis and Rebecca Liebman emigrated from Romania about 1905, living in Hartford, Connecticut before coming to Sudbury. Louis was a farmer. Their second son, Charles Liebman,

Continuation sheet 1

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

250 RAYMOND RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.449,
SUD.450

ultimately purchased this house in 1946, becoming the first owner-occupant with his wife, Rose. They divided the house lot, resulting in the current acreage. J. Carroll Morris and his wife, Rose, resided here from 1949 to 1961. A professor of Sanitary Chemistry at Harvard University, Morris served as Town Meeting moderator, while Rose Morris was active in the Sudbury Grange.

This house appears to be an example of the popular pre-World War II mail-order houses, also known as ready-cut, kit, or catalog houses. Shipped in pieces by rail or truck for assembly on site, the mail-order house was marketed toward the novice home-builder for its lower costs than conventional stick-built houses. One of the earliest businesses in the nation to produce prefabricated modular buildings was the E. F. Hodgson Company in Dover, Massachusetts, founded in 1892. Hodgson maintained a model home and sales location in Sudbury at 707 Boston Post Road (ca. 1920s-1930s, SUD.323). By the 1910s, the Midwest was the nation's major center for mail-order house companies, chief among them Gordon-Van Tine Company; Aladdin Company; Sears, Roebuck and Company; Montgomery Ward and Company, Lewis Manufacturing Company, and Sterling Homes [Schweitzer and Davis, 63].

BIBLIOGRAPHY and/or REFERENCES

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SUPPLEMENTARY IMAGES



Garage: Façade (west) and south elevations.

National Register of Historic Places Criteria Statement Form

Check all that apply:

- Individually eligible Eligible **only** in a historic district
- Contributing to a potential historic district Potential historic district

Criteria: **A** **B** **C** **D**

Criteria Considerations: **A** **B** **C** **D** **E** **F** **G**

Statement of Significance by Wendy Frontiero and Kathleen Kelly Broomer
The criteria that are checked in the above sections must be justified here.

The Liebman House and Garage, 250 Raymond Road, illustrate early 20th century suburban development at South Sudbury, adjacent to the town’s expanding commercial district along Boston Post Road. The house is also notable as a suspected example of the popular pre-World War II mail-order houses, also known as ready-cut, kit, or catalog houses. Shipped in pieces by rail or truck for assembly on site, the mail-order house was marketed toward the novice home-builder for its lower costs than conventional stick-built houses. Well preserved and well maintained, 250 Raymond Road is a handsome example of early 20th century, middle class housing in Sudbury. Notable design features include the gambrel roof with shed dormers, exterior stone chimney, symmetrical five-bay façade and north elevation, gabled entry porch, and side extension. The intact, original or early garage with its beveled clapboards and exposed rafter ends is also significant.

Retaining integrity of location, design, setting, materials, workmanship, feeling, and association, 250 Raymond Road is recommended for the National Register with significance at the local level. Information on historic interiors would be required for MHC to confirm this recommendation.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

L10-0014	Framingham		SUD.451
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Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 4 Stagecoach Drive

Historic Name: Poole Mink Farm

Uses: Present: residential
Original: residential

Date of Construction: ca. 1910 [?]

Source: maps and atlases,
visual inspection

Style/Form: Craftsman

Architect/Builder: not determined

Exterior Material:

Foundation: stone
Wall/Trim: stucco, clapboard/wood
Roof: asphalt shingle

Outbuildings/Secondary Structures:
n/a

Major Alterations (*with dates*):
rear additions, replacement window sash (L 20th – E 21st c)

Condition: good

Moved: no yes **Date:** ca. 1909?

Acreage: 1.15 acres

Setting: Located on a corner lot on a main north/south thoroughfare, at the entrance to a modern *cul de sac* development. Surrounded by heterogeneous residential development from the 20th –early 21st c on relatively large parcels. Flat lot is maintained primarily in lawn, with a high, vertical board fence lining the Landham Road frontage and the SE corner of the parcel.

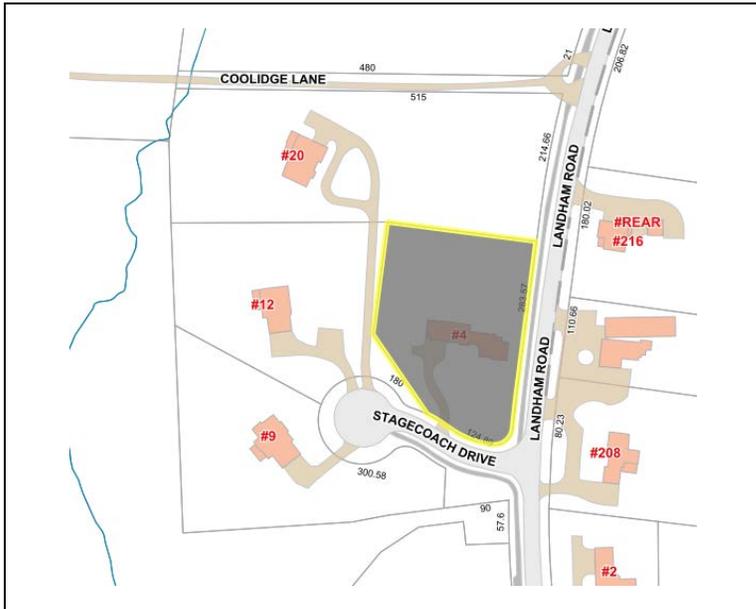
Photograph



West and south elevations of main block.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

4 STAGECOACH DR

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.451

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

4 Stagecoach Drive consists of a T-shaped main building with a long, linear series of additions extending to the rear. The main building rises 1½ stories to a front-gabled wing and side-gabled rear block; no gable returns. A corbelled chimney rises from the north slope of the front wing. The building has stucco walls, most of which are trimmed with a flat sill board having a cap molding. Windows are paired on the east and south gable ends of the building and occur singly elsewhere. Openings typically have 2/2 replacement sash and band molding. A one-story sunroom with a hip roof and paired windows wraps around the façade (east) and south elevations of the front wing; it has a single-leaf door centered on its façade. A second entrance is located on the façade of the north wing, where the roof slope of the front block extends down to form a shed roof for an entry porch with turned columns and a single-leaf door. The rear slope of the main roof extends downward in the center to cover a projecting bay in the rear wall; a small gabled dormer protrudes from the shed-roofed extension.

The modern rear additions are typically low, one-story volumes; one section near the end is 1½ stories. They are sheathed principally in clapboard with wood trim, cross gables, and irregular fenestration.

Well maintained and well preserved, 4 Stagecoach Drive is an unpretentious, picturesque example of early 20th century residential development in Sudbury. Notable design features include its T-shaped massing, uncommon stucco siding, extensions from the main roof that cover first floor projections, and the sunporch and corner entry porch. The many rear additions dramatically increase the square footage of the residence, but generally defer to the original building in siting, scale, form, and detailing.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Formerly known as 211 Landham Road, this property was associated with agricultural activity at East Sudbury for nearly a century, from the late 1870s to the 1970s. Lyman W. Gilbert owned this parcel as part of the larger James B. Butterfield farm he acquired in 1878. The farm's production in 1880 was modest compared to others in Sudbury, with products largely limited to cheese, eggs, and potatoes. The farm encompassed 9 acres with buildings here, 20 acres with buildings on the opposite side of Landham Road, and an additional 10 acres of woodlot. Per historic maps and atlases, the main farmhouse that Butterfield, then Gilbert, occupied was on the 20-acre parcel across the road, in the approximate location of 216 Landham Road. This house, by contrast, is sited on the nine-acre parcel, bounded by property of the Martin Goodnow House, 30 Coolidge Lane (1880, SUD.329) on the north, and the Albert Larkin House, 189 Landham Road (1830, SUD.240) on the south. Deeds from 1878 onward reference buildings on the nine-acre parcel, though this house is not illustrated on the 1889 or 1908 atlases in its current location. It appears the house was either moved to the present site after 1908, or constructed about that time, as an ancillary dwelling on the farm. Architectural detailing of the main block suggests a construction date as late as 1910.

Divided from the larger farm in 1893, the nine-acre parcel was owned until 1927 by individuals who did not live in Sudbury, and their tenants, if any, have not been identified. The 1921 valuation assesses owner Alice H. Davis of Chelsea for a house, barn, and nine acres of land previously owned by Henry M. Hall of Salem. The barn was demolished by 1942. Sebastiano Casella resided here with his wife, Lucy, and their young children from about 1927 to 1939. An Italian immigrant who came to the United States about 1919, Casella was employed as a laborer in one of Sudbury's many greenhouses.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

4 STAGECOACH DR

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.451
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Members of the Poole family owned the house from 1940 to 1975, during which time they operated the Poole Mink Farm. Claude R. "Jim" Poole resided here until the 1950s when he moved to Ashland, though he retained title until his death in 1966. Census records show Poole and his first wife, Dorothy, came to Sudbury by 1930, where Poole was employed as superintendent of an oil company (1930), and real estate broker (1940) before embarking on mink ranching. Son James E. Poole inherited this property, though he resided nearby with his family on Woodland Road. Historic aerial views of South Sudbury show four rows of breeder houses sited west of this dwelling as late as 1971. The original nine-acre parcel remained intact until the 1985 subdivision for Stagecoach Lane.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

4 STAGECOACH DR

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	SUD.451
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SUPPLEMENTARY IMAGES



South and façade (east) elevations.



Façade (east) and north elevations.



Detail of façade (east elevation).



South elevations of additions (left and center) and main block (right).

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

M10-0402	Framingham		SUD.452
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Town/City: Sudbury
Place: (*neighborhood or village*):
South Sudbury

Address: 115 Stockfarm Road

Historic Name: Jerome and Rebecca Butterfield House

Uses: Present: residential

Original: residential

Date of Construction: ca. 1880

Source: atlases, deeds

Style/Form: Italianate

Architect/Builder: not determined

Exterior Material:

Foundation: stone

Wall/Trim: vinyl/vinyl

Roof: asphalt shingle

Outbuildings/Secondary Structures:

attached garage; free-standing outbuilding (not visible from street)

Major Alterations (*with dates*):

side and rear additions, dormers, exterior chimney, replacement windows, artificial siding and trim (L 20th c)

Condition: fair

Moved: no yes **Date:**

Acreage: 0.69 acres

Setting: Located off Landham Road, a major north/south thoroughfare, near the Framingham town line. Surrounded by heterogeneous, suburban residential development, mainly from the 20th c. The generally flat lot is maintained primarily in lawn.

Photograph



Façade (north) and west elevations.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

115 STOCKFARM RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.452

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

115 Stockfarm Road consists of a rectangular main block with multiple side and rear additions, including an attached, three-car garage. The main block rises 2½ stories to a low-pitched, front-gable roof with gable returns; an exterior chimney rises up the west elevation. Walls are sheathed with vinyl siding and trim. Windows typically occur singly and have 2/2 replacement sash and vinyl trim. The three-bay façade features an offset entrance having a single-leaf door with a hip-roofed hood supported on highly ornamental, carved brackets. The long west elevation has a small, angled bay window towards the rear. The long east elevation has a small one-story addition towards the front, a shed-roofed dormer with two pairs of windows across most of the east slope of the main roof, and irregular fenestration. Attached to the rear of the main block is a one-story, brick addition with a gable roof; it appears to have a side door and at least one window. The ell connects with a large, 1½ story garage facing the side (west), which features a side gable roof, vinyl or wood façade, and brick-faced north wall. Two pedimented gabled dormers occupy the front (west) slope of the roof.

Well maintained, 115 Stockfarm Road has lost much of its historic integrity through the application of vinyl siding and trim, replacement window sash, and numerous, incongruous additions. Notable design features include the massing of the main block, largely intact fenestration, modest bay window, and elaborate door hood.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Associated with the greenhouse industry in Sudbury from the time of its construction until 1913, the Butterfield House was built for florist Jerome Butterfield and his wife, the former Rebecca Georgianna "Georgie" Dickey of Wayland. Though not formally laid out until 1955, Stockfarm Road roughly follows the path of an unpaved way that connected Nahum Goodnow's timber land near the Sudbury River to Landham Road, then known as the Saxonville Road. Goodnow sold 11¼ acres here to the Butterfields in 1873. Jerome Butterfield (1850-1902) was employed at a woolen mill, probably in Framingham, before joining Sudbury's burgeoning greenhouse trade in the early 1880s. He built a greenhouse on his property and was soon considered an expert florist. A member of the Boston Cooperative Flower Growers' Association, founded in 1892, Butterfield served as a selling agent for the association's flower exchange under Park Street Church in Boston. His widow continued the family florist business for a time after his death. This house remained in the Butterfield family until 1913.

The greenhouse business was a major industry in Sudbury from the 1880s through the turn of the 20th century. The town recorded at least 80 greenhouses in place in 1900, from ancillary structures on farms to large-scale commercial greenhouses covering up to two acres of land area. Vegetables, especially cucumbers and lettuce, and flowers, especially carnations and violets, were the chief products of Sudbury greenhouses, shipping to surrounding towns and later markets in Boston and New York [Hudson, 492; "Greenhouses"]. In addition to the Butterfields, families engaged in the greenhouse business in this corner of Sudbury by 1908 included the Hemenways on the present Stockfarm Road (daughter and son-in-law of Jerome and Georgie Butterfield); the Goodnows and the Ames Brothers on Landham Road; the Eatons on Pelham Island Road; and the Smiths on Woodside Road.

Harry and Mildred Gotberg and their daughter, Ruth Gotberg, owned this house from 1915 to 1966. The Butterfield greenhouse was demolished by 1921, per town tax valuations. Harry Gotberg was employed as a foreman in an arsenal (1920) and a machinist in a watch factory (1940). Following the deaths of her parents, Ruth Gotberg in 1955 sold most of the 11¼ acres to Pleasant Homes Realty Trust of Wayland, which deeded back to her the house on its present lot. Miss Gotberg was active in

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

115 STOCKFARM RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.452
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community theater groups in Framingham and Chestnut Hill as an actress and set designer, and served as editor of the New England Theater Conference Newsletter from 1960 to 1965.

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FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

F10-0102	Maynard		SUD.453
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town/City: Sudbury
Place: (*neighborhood or village*): North Sudbury

Photograph



Northeast and northwest elevations.

Address: 7 Thompson Drive
Historic Name: Hunt-Thompson Barn
Uses: Present: residential - barn
 Original: agricultural - barn
Date of Construction: ca. 1830
Source: 1996 inventory form
Style/Form: New England banked barn
Architect/Builder: not determined

Exterior Material:
 Foundation: stone
 Wall/Trim: shiplap siding, clapboard/wood
 Roof: asphalt shingle

Outbuildings/Secondary Structures:
 see narratives

Major Alterations (*with dates*):
 shiplap siding (ca. 1930s)

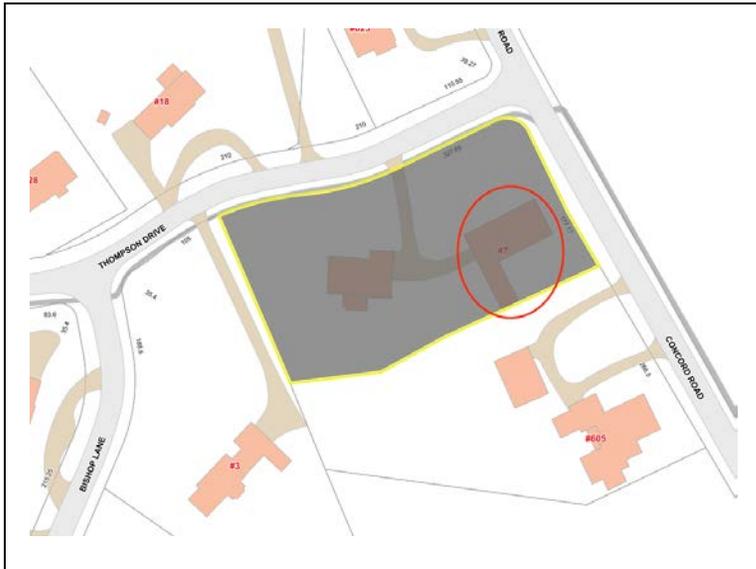
Condition: good

Moved: no yes **Date:**

Acreage: 1.38 acres

Setting: Located on the corner of a main north/south thoroughfare with sparse development and a cul-de-sac with a modern subdivision of large houses on large lots. Lot is shared with a new house (1995) built west of barn. Land slopes up gently to the west. Dry-laid fieldstone wall lines Concord Road frontage.

Locus Map



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

7 THOMPSON DR

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.453

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The Hunt-Thompson Barn is an L-shaped structure with a very large main block and a long side ell that is flush with its southwest façade. The gabled roofs have gable returns on the main block. Walls are sheathed with shiplap siding on the northeast and northwest elevations, with clapboard elsewhere. Oriented perpendicular to Concord Road, the main block is a New England style, banked barn with barn door entrances on both gable ends. Walls are trimmed with flat corner boards and flat casings at the door and window openings. The gable ends have brief gable returns; double-leaf, sliding doors with a six-light window inserted in the center of each; a short five-light transom centered above the door opening; and a half-story projecting slightly forward of the first level with a center 4/4 window. Two square cupolas with louvered openings and hip roofs are evenly spaced along the ridgeline. The long Thompson Road (northwest) elevation has centered barn doors and four evenly spaced, six-light windows at the basement level, and one 6-light window and two four-light windows at different levels toward the west end of the building. The long southeast elevation has a pedestrian door in the center and three 3/3 windows evenly spaced to each side.

The long lateral wing of the barn is not clearly visible from the street. It has one square cupola with louvered openings and a hip roof centered at its ridgeline. A multitude of small, irregularly spaced, possibly 3/3 windows populates its first and second floor levels on the long (northeast) elevation facing Concord Road. Fenestration is not visible on the southeast gable end. Its southwest elevation is flush with the main block; one set of paired windows and a single window are visible on its upper level, adjacent to the main block.

Very well preserved and maintained, this barn is an extraordinary and uncommon example of agricultural outbuildings in Sudbury. Notable architectural features include its uncommonly large size, L-shaped massing, prominent cupolas, overhanging half-story, intact barn doors and eclectic fenestration, and historic materials, sash, and trim.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Associated with at least three generations of the Hunt and Thompson families in Sudbury, this well preserved 19th-century barn reflects Sudbury's agricultural roots, and the property's transition in the mid-20th century from a working farm to a gentleman's farm under new ownership. Previous research dates the barn to ca. 1830. Its original owners resided in the adjacent house to the south, 605 Concord Road (ca. 1783, SUD.112), known as the William Hunt House. The Hunt farm was likely transferred into the Thompson family following the 1824 marriage of Abigail Hunt and Nahum Thompson, who was a merchant in Sudbury, as well as town clerk and town treasurer [Hudson, 451; 1850 census]. Their son, Alfred Nahum Thompson (1832-1909), farmed here until his death. He married Ellen Lucretia Dakin in 1858, and they had nine children. The 1880 agricultural census conveys the scope of the Thompson farm operations, with 40 tilled acres; 30 meadows of pasture, meadow, or orchard; and 27 acres of woodlot. The Thompsons kept ten milch cows that produced 4,000 gallons of milk for sale in the prior year, when the farm also produced 200 pounds of butter and 175 dozen eggs from fourteen heads of poultry. Alfred Thompson had five acres planted with Indian corn and one acre with Irish potatoes, along with a three-acre apple orchard of 150 trees. In 1921, the heirs of Alfred Thompson were assessed for a house (\$1,200), barn and shed (the subject building, \$1,000), two carriage houses (\$250), two sheds (\$200), and 93 acres (\$2,790). Son George Hunt Thompson and his wife, Lizzie, continued his parents' farm on Concord Road until their retirement in 1940, when the farm was sold out of the family.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

7 THOMPSON DR

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

	SUD.453
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Parker Bishop Albee (1913-2005) and his wife, the former Evelyn Adams, owned the Hunt-Thompson farm from the 1950s until the 1980s. The farm was subdivided to create the Thompson Farms residential neighborhood on Thompson Drive and Bishop Lane. Born in Hyde Park (Boston), Parker Albee succeeded his father at the Acme Rubber Company in Boston, of which the younger Albee was co-owner and ultimately owner. In Sudbury, Parker Albee was a longtime member and former chairman of the Planning Board, president of the Police Association in 1955, and chairman of the Special Committee on Assessments to address assessing practices in 1958.

By 1983, the parcel associated with the Albee residence at 605 Concord Road had been reduced to 6.26 acres, retaining this large barn, a smaller barn with attached garage, a brooder house, and a three-car garage attached to the dwelling. The house parcel was divided further in 1994, creating a separate parcel for this barn that is now known as 7 Thompson Drive. A 1994 subdivision plan shows the barn slated for removal, and the ell on the west side reportedly collapsed by January 1996. A new house was built west of the barn, on the same parcel, about 1995, and the present owners restored the barn.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

7 THOMPSON DR

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

	SUD.453
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SUPPLEMENTARY IMAGES



Southeast and northeast elevations.



Northwest and southwest elevations.

SUD.453

National Register of Historic Places Criteria Statement Form

Check all that apply:

- Individually eligible Eligible **only** in a historic district
- Contributing to a potential historic district Potential historic district

Criteria: **A** **B** **C** **D**

Criteria Considerations: **A** **B** **C** **D** **E** **F** **G**

Statement of Significance by Wendy Frontiero and Kathleen Kelly Broomer
The criteria that are checked in the above sections must be justified here.

Associated with at least three generations of the Hunt and Thompson families in Sudbury, the Hunt-Thompson Barn, 7 Thompson Drive, is a striking reflection of Sudbury’s agricultural roots and of the property’s transition in the mid-20th century from a working farm to a gentleman’s farm. In the 1980s, the historic farm was subdivided to create the Thompson Farms residential neighborhood on Thompson Drive and Bishop, although this barn stayed on a parcel with the original house and three other outbuildings. The house parcel was divided further in 1994, creating a separate parcel for this barn. Very well preserved and maintained, this barn is an extraordinary and uncommon example of agricultural outbuildings in Sudbury. Notable architectural features include its uncommonly large size, L-shaped massing, prominent cupolas, overhanging half-story, intact barn doors and eclectic fenestration, and historic materials, sash, and trim.

Retaining integrity of location, design, setting, materials, workmanship, feeling, and association, 7 Thompson Drive is recommended for the National Register with significance at the local level. Information on historic interiors would be required for MHC to confirm this recommendation.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

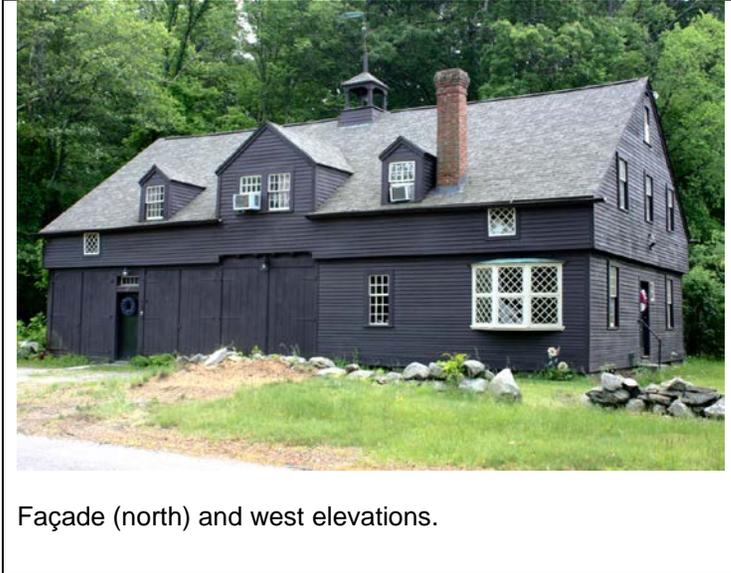
MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

L03-0001	Framingham	SUD.E, F	SUD.315
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MA/HL 06/09/1970
PR 06/09/1970

LHD 03/21/1967
NRDIS 04/23/1973

Photograph



Façade (north) and west elevations.

Locus Map

↑
north

see continuation sheet

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 47 Wayside Inn Road

Historic Name: Wayside Inn – Gate House

Uses: Present: residential, offices
Original: coach house

Date of Construction: 1910-1918

Source: "Historic Sudbury Tour"

Style/Form: English Revival

Architect/Builder: not determined

Exterior Material:

Foundation: stone

Wall/Trim: wood clapboards/trim

Roof: asphalt shingle

Outbuildings/Secondary Structures:
n/a

Major Alterations (*with dates*):
cupola (1922) - changes to fenestration on south elevation
(ca. 1940-1960s) - modern sliding doors on south elevation
(L 20th – E 21st c)

Condition: excellent

Moved: no yes **Date:** 1939

Acreage: 32.08 acres

Setting: Located in the center of the Wayside Inn complex, diagonally opposite the Inn. Generally flat site maintained chiefly in lawn; moderate setback from the road.

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

47 WAYSIDE INN RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.E, F

SUD.315

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The Gate House is a rectangular structure rising 1¾ stories to a side gable roof without gable returns. The building has two chimneys: a tall, corbelled chimney rising from the western end of the front slope, and a shorter, less decoratively corbelled chimney rising near the middle of the rear slope. A small belfry with a hip roof perches on the center of the ridgeline. Clapboard walls are trimmed with flat sill boards, corner boards, and fascia; clapboards are more narrowly spaced at the base of the walls. The half-story projects slightly forward of the ground floor on all four elevations; brackets support the projecting cross-gables centered on the façade and rear elevations. Windows appear in myriad sizes, shapes, and sash patterns; all elevations are asymmetrically fenestrated. Most occur singly and have double-hung sash; several lattice-paned sash are scattered throughout the building. Flat window casings are predominant; first floor windows on the east and west sides have a cornice molding. The façade features a large cross gable in the center, flush with the half-story wall below; it has paired windows and is flanked by a narrow gabled dormer on each side. Three double-leaf barn doors are positioned at the eastern end of the façade, and are constructed of vertical wood boards. A single-leaf pedestrian door with a five-light transom is inserted in the middle set of barn doors. The western end of the façade has a single 6/9 window and an angled bay window with diamond-paned sash at the first floor. A small, square, diamond-paned square window is positioned at each end of the half-story's knee wall. The west and east elevations both have three 6/9 windows and a small square window with diamond-paned sash, all capped with cornice molding, at the first floor; three 8/12 windows evenly spaced across the half-story; and a 6/6 window centered in the gable peak. The eccentric rear elevation is dormered to match the façade and has the same small, square, diamond-paned windows at the ends of the half-story's knee wall. Its first floor has a pair of double-leaf barn doors in the center, below the center cross gable, with a pair of 1/1 windows inserted within; two 12/12 windows to the west; and a square, diamond-paned sash, modern sliding doors, and paired 6/9 windows to the east.

Well preserved and well maintained, the Gate House is an excellent, idiosyncratic example of early 20th century, medieval revival design in Sudbury. Notable architectural features include its simple massing, active roof edge, overhanging half-story, belfry, decorative chimneys, eccentric variety of fenestration, multiple barn doors, and historic window sash and trim.

N.B.: The assessors' address for this parcel is 47-131 Wayside Inn Road; the Wayside Inn Foundation uses 47 Wayside Inn Road for the Gate House.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Gate House was built from 1910-1918 as a coach house for Edward Rivers Lemon (1855–1919), a wealthy wool merchant who purchased the Wayside Inn property in 1897. Lemon re-established the inn after 36 years as a private residence rented out to tenants; he renovated the Inn itself and added new buildings and gardens on the site. Lemon seems to have considered himself a gentleman farmer at this period in his life: the 1900 U.S. Census identifies him as a farmer rather than a businessman, living in Sudbury with his wife, Cora; sister Ella; 21-year-old son Edward P. Lemon, who is described as a hotel manager (presumably for the Wayside Inn); and Oscar Stenberg, a Swedish-born farm laborer who boarded with the family.

Lemon constructed the Gate House (formerly known as the Coach House) to store his collection of historic stage coaches (including a coach in which the Marquis de Lafayette rode), and also to house other parts of his extensive collection of antiques. The building originally stood on the north side of the present Wayside Inn Road, east of the Inn; behind it was the Longfellow Garden, which was designed and planted by Ella Lemon. Uncorroborated and conflicting reports (Plumb: 87; Sudbury

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

47 WAYSIDE INN RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.E, F

SUD.315

Historical Society) claim that materials for the building were salvaged and re-used from either the 17th century Sun Tavern in Boston or the Moore House (1718) in Sudbury. A photograph possibly dating from Lemon's ownership shows a center opening without doors, running north/south through the building (see historic image). In 1939, during Henry Ford's ownership and development of the Wayside Inn complex (1923-1945), the Gate House was moved to its present location on the south side of Wayside Inn Road. (While it might be expected that the street-facing elevation would remain street-facing after the move, that does not appear to be the case. It seems that the south elevation, which originally faced the street, continues to face south and is now the rear of the building.) The building continued to be used for the storage of coaches and also served as the innkeeper's office. By 1951, it was occupied by an antique store, and by the 1960s housed the Wayside Inn's fire truck in the closed-off center bay. By 2011, the Gate House was used as an apartment for Inn staff and for storage. It presently contains employee living quarters, offices, and meeting space.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

47 WAYSIDE INN RD

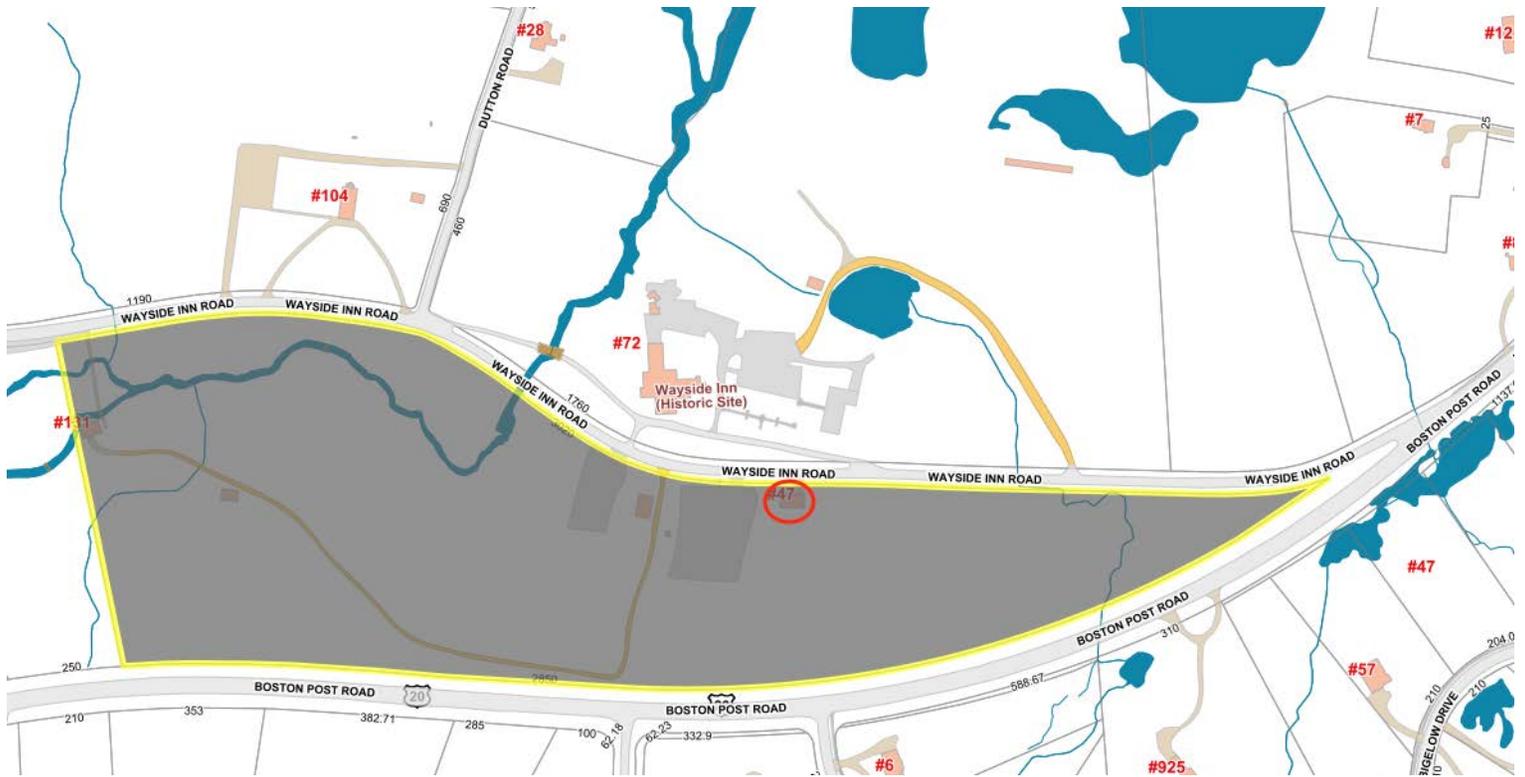
MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.E, F	SUD.315
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LOCUS MAP

↑
north



INVENTORY FORM B CONTINUATION SHEET

SUDBURY

47 WAYSIDE INN RD

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.E, F	SUD.315
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SUPPLEMENTARY IMAGES



East and façade (north) elevations.



Rear (south) elevation.



Historic image: South façade, prior to the building's move in 1939.
Source: Plumb: 87.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

L03-0001	Framingham	SUD.E, F	SUD.314
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MA/HL 06/09/1970
PR 06/09/1970

LHD 03/21/1967
NRDIS 04/23/1973

Photograph



East and façade (north) elevations.

Locus Map



see continuation sheet

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: Wayside Inn Road (opposite #72)

Historic Name: Wayside Inn – Old Barn

Uses: Present: store, museum display, function room
Original: barn

Date of Construction: 1836

Source: SHS, "Historic Sudbury Tour"

Style/Form: New England banked barn

Architect/Builder: Adam Howe

Exterior Material:

Foundation: stone

Wall/Trim: wood clapboards/trim

Roof: wood shingle

Outbuildings/Secondary Structures:
n/a

Major Alterations (*with dates*):
changed fenestration on east and north elevations (see narrative), lean-to extension on west wall removed (Henry Ford era, 1923-1945)

Condition: excellent

Moved: no yes **Date:** 1904

Acreage: 32.08 acres

Setting: Located in the center of the Wayside Inn complex. Located off Wayside Inn Road, opposite the Inn. Land slopes up from the road; barn stands in an open meadow with a deep setback from the street. Fieldstone retaining walls line the access path to the basement level door on the west side.

Recorded by: W. Frontiero and K. K. Broome, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

WAYSIDE INN RD – OLD BARN

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.E, F

SUD.314

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The Old Barn is a relatively large, New England style, banked barn, rising 1½ stories to a front-gable roof without gable returns. Clapboard walls are trimmed with flat corner boards; the half-story projects slightly forward on both gable ends. All but the east elevations are symmetrically fenestrated; all doors are constructed of vertical boards and have flat trim. Windows are multifarious, consisting of small multi-pane sash with flat casings. The façade (north elevation) has large, double-leaf barn doors in the center, surmounted by a small hayloft door. The west elevation has five small, evenly spaced, 4-light windows set high in the main level. At the basement level, short double-leaf doors are centered in the foundation, flanked by a 6-light window on each side. Curved fieldstone retaining walls line the pathway to the basement entrance. The south elevation contains only a small hayloft door set high in the first level and a small 9-light window in the gable peak. The east elevation features double-leaf doors at the southern end and four small 4-light windows evenly spread across the remainder of the wall. An historic photo in Plumb's *History* (p. 154) shows the building in 1923 with windows of different shapes, sizes, and number on the east and north elevations; wood shingle siding; and a lean-to extension on the west elevation.

Well preserved and very well maintained, the Old Barn is an excellent example of 19th century barn construction in Sudbury. Notable architectural features include its prominent siting, simple massing, fieldstone foundation and retaining walls, historic siding and trim, multiple sets of barn doors, and minimal fenestration.

N.B.: The assessors' address for this parcel is 47-131 Wayside Inn Road; the Wayside Inn Foundation uses "opposite 72 Wayside Inn Road" for the Old Barn.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Most of the current structure of the Old Barn was built by Adam Howe (1763-1840), the third innkeeper of the Wayside Inn. It originally stood on the north side of today's Wayside Inn Road, close to the Wayside Inn building. The Barn was moved by innkeeper Edward Rivers Lemon (1855-1919) in 1904, when the road network around the Wayside Inn was changed. Several barns have been located on the Wayside Inn property throughout its history. This barn is said to be "the only original barn remaining on the Wayside Inn property" although "it has been rebuilt many times thru the years." ("Historic Sudbury Tour") During Henry Ford's association with the Wayside Inn (1923-1945), the barn was occupied by horse stalls on the main floor and sheep in the basement. Ford also displayed carriages and stage coaches here, a use that continued into the early 21st century. A gift shop currently occupies the main floor.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY

WAYSIDE INN RD – OLD BARN

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.E, F

SUD.314

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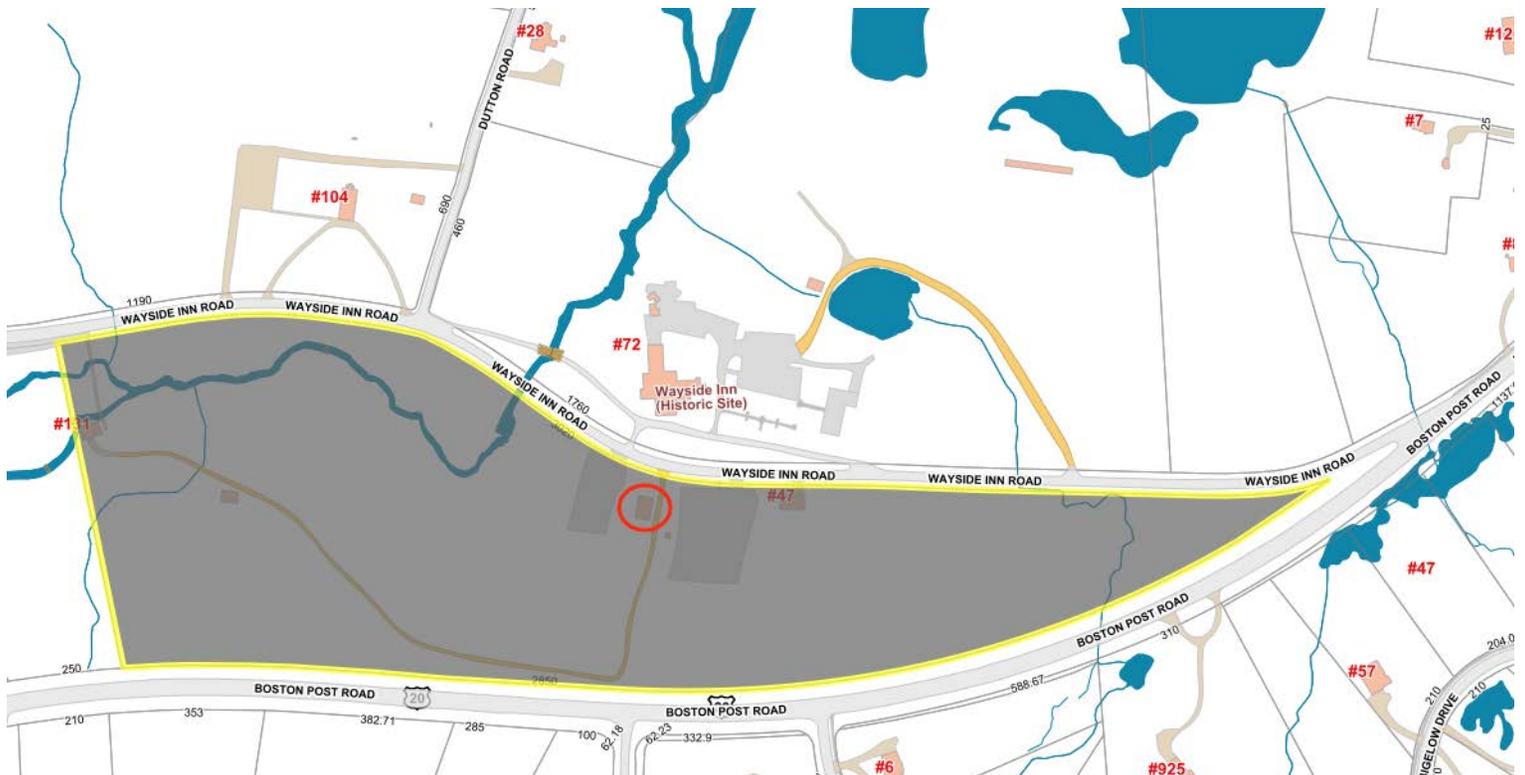
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LOCUS MAP

↑
north



INVENTORY FORM B CONTINUATION SHEET

SUDBURY

WAYSIDE INN RD – OLD BARN

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

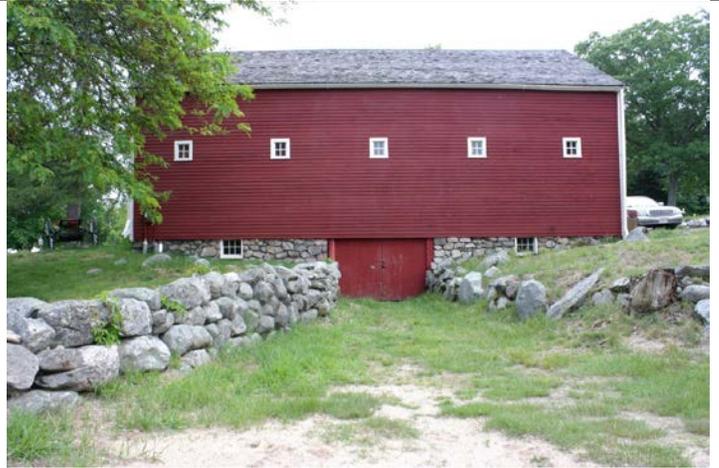
Area(s) Form No.

SUD.E, F	SUD.314
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SUPPLEMENTARY IMAGES



West and south elevations.



West elevation with retaining walls.



Historic image: Barn in 1923, east and north elevations. Source: Plumb: 154.

FORM B – BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Assessor's Number USGS Quad Area(s) Form Number

L02-0002	Framingham	SUD.E, F	SUD.3
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MA/HL 06/09/1970
PR 06/09/1970

LHD 03/21/1967
NRDIS 04/23/1973

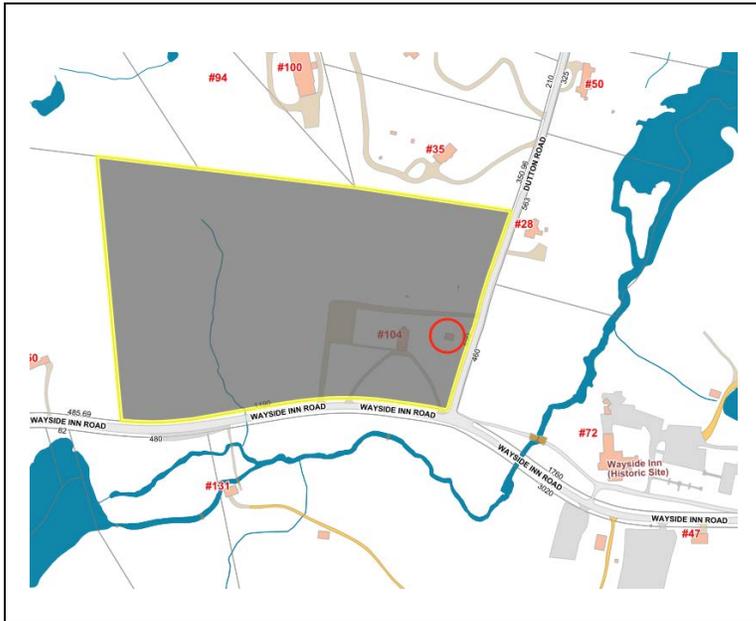
Photograph



Façade (east) and north elevations.

Locus Map

↑
north



Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (month / year): **DRAFT** July 2021

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 104 Wayside Inn Road

Historic Name: Wayside Inn – Redstone School

Uses: Present: museum space

Original: school

Date of Construction: 1798/1926

Source: Wayside Inn Foundation

Style/Form: Federal

Architect/Builder: not determined

Exterior Material:

Foundation: stone post at corners

Wall/Trim: wood clapboards/trim

Roof: wood shingles

Outbuildings/Secondary Structures:
n/a

Major Alterations (*with dates*):

original building disassembled and re-constructed (1926)

Condition: excellent

Moved: no yes **Date:** 1926

Acreage: 21.5 acres

Setting: Located near the center of the Wayside Inn complex, at the intersection of Wayside Inn Road and Dutton Road; shares parcel with Martha Mary Chapel. Deep front setback slopes up from Dutton Road; a fieldstone wall runs along this street frontage. Lot is maintained chiefly in lawn.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

104 WAYSIDE INN RD

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.E, F

SUD.3

 Recommended for listing in the National Register of Historic Places.*If checked, you must attach a completed National Register Criteria Statement form.*

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The Redstone School is a small, rectangular building that rises one story to a front-gabled roof with slender gable returns; a small chimney rises up from the ridgeline inside the rear wall. Clapboard walls are trimmed with flat sill boards, flat corner boards on plinths, and flat fascia boards with bed molding. Windows occur singly, have 12/12 sash, and are trimmed with flat jambs and a modestly scaled entablature. The façade has a single-leaf center entrance with a four-panel door trimmed with flat casings and a modest entablature similar to the windows. Centered above the doorway is a metal historic plaque trimmed with a narrow, flat casing. The asymmetrical north elevation has two windows towards the back; the rear (west) elevation has two symmetrically placed windows. The south elevation is blank.

Well preserved and excellently maintained, the Redstone School is a handsome example of turn-of-the 19th century schoolhouse design and early 20th century Colonial Revival period restoration. Notable architectural features include the building's simple massing, minimal fenestration, historic window sash pattern, and simple but stylish window, doorway, and wall trim.

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Originally located in the nearby town of Sterling, Mass., the Redstone School was constructed in 1798 as a one-room schoolhouse. The school had been repurposed as an outbuilding (variously described as a barn, garage, and-or storage shed) for the Baptist Church Parsonage in Sterling. Ford became aware of the building early in his development of the Wayside Inn complex (1923-1945) and had it dismantled and rebuilt in Sudbury. Aiming for historical accuracy, he commissioned substantial research into the original appearance of the schoolhouse, along with its legendary associations with the nursery rhyme, "Mary had a little lamb." (For details on the poem, see Garfield and Ridley: 205, and "Historic Sudbury Tour.") The schoolhouse was reconstructed in 1926 using salvaged materials from the original building, augmented with new wood that was cut and sawn in the Wayside Inn complex's own sawmill.

Although inspired by the need to educate the children of Ford's employees at the Wayside Inn, the school was part of the Sudbury public school system from the outset. Nonetheless, Ford and his family paid the teacher's salary and transportation costs for the students throughout the school's existence. The building opened in January 1927 with 16 children, one of whom was Thomas Winship, later an acclaimed editor of *The Boston Globe*. "Ford was present at the ceremonial opening, posing for pictures with the students and the obligatory lamb.... After the ceremony, the children were immediately dismissed[,] as five cases of scarlet fever had been reported in Sudbury schools and all had been ordered closed." (Garfield and Ridley: 206) At its opening, the restored Redstone Schoolhouse was furnished with the original teacher's chair as well as period school desks and benches from other sources. It was also equipped with a 30-foot deep well and an outhouse on the south (left) side of the building. In order to give more privacy to students using the outhouse, windows that had historically existed on the left side of the schoolhouse were omitted from the reconstructed building. The Redstone School housed grades one through four until it closed in 1951.

The Redstone School was the first of two public schools that Ford built in Sudbury, followed in 1930 by the Southwest School, 11 Peakham Road (SUD.48), which served students in grades five through eight. These two schools, as well as the Wayside Inn Boys School (1928-1947), were part of Ford's grand social and cultural scheme for a Colonial-themed community.

INVENTORY FORM B CONTINUATION SHEET

SUDBURY

104 WAYSIDE INN RD

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.E, F

SUD.3

Early schoolhouses of this period are exceedingly rare in Massachusetts. The Redstone School represents a full evolutionary spectrum, from late 18th century construction to early 20th century reinterpretation. The building is open as a museum today, as part of the Wayside Inn Foundation.

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SUPPLEMENTARY IMAGES



West and south elevations.

FORM B – BUILDING

Assessor's Number USGS Quad Area(s) Form Number

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

L03-0001	Framingham	SUD.E, F	SUD.316
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MA/HL 06/09/1970
PR 06/09/1970

LHD 03/21/1967
NRDIS 04/23/1973

Photograph



Façade (east) and north elevations.

Locus Map

↑
north

see continuation sheet

Town/City: Sudbury

Place: (*neighborhood or village*):
South Sudbury

Address: 131 Wayside Inn Road

Historic Name: Wayside Inn – Cider House

Uses: Present: storage
Original: cider mill (conjectured)

Date of Construction: 18th century?/1930

Source: Wayside Inn Foundation

Style/Form: no style

Architect/Builder: not determined

Exterior Material:
Foundation: stone
Wall/Trim: wood planks and trim
Roof: wood shingle

Outbuildings/Secondary Structures:
n/a

Major Alterations (*with dates*):
select areas of replaced siding (20th c)

Condition: deteriorated

Moved: no yes **Date:** 1930

Acreage: 32.08 acres

Setting: Located at the western end of the Wayside Inn complex, approximately halfway between Wayside Inn Road and Boston Post Road, south of the Cold Storage Cellar. Generally flat site is maintained chiefly in lawn with an adjacent walking trail surfaced with crushed-stone. Bordered on the south by a steep, tree-covered slope.

Recorded by: W. Frontiero and K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month / year*): September 2021

INVENTORY FORM B CONTINUATION SHEET

SUDBURY 131 WAYSIDE INN RD – CIDER HOUSE

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.E, F

SUD.316

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION:

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

The Cider House is a small, rectangular, wood-frame structure. Standing on a low foundation of dry-laid fieldstone, it rises one-story to a front-gable roof without returns. Walls are sheathed with horizontal planks, typically rough-cut; smooth finished boards occur on the rear (south) elevation and much of the base of the east gable end. There is no trim at walls or fenestration. The south and west walls of the building are blank. Centered on the façade (east elevation) are double-leaf doors constructed of rough vertical boards. The north wall contains a pedestrian doorway, positioned slightly off-center, which is blocked in with wood panels.

Although in dilapidated condition, the Cider Mill is a rare survivor of an early industrial building type. Notable architectural features include its simple massing, minimal fieldstone foundation, horizontal planking, absence of trim, and utilitarian doorways.

N.B.: The assessors' address for this parcel is 47-131 Wayside Inn Road; the Wayside Inn Foundation uses 131 Wayside Inn Road for both the Cider House and the Cold Storage Cellar (SUD.996).

HISTORICAL NARRATIVE

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

The Cider House is reputed to be an 18th century building that was constructed in New Hampshire. (Plumb: 119) It was acquired and re-located by Henry Ford in 1930, during his development of the Wayside Inn complex from 1923-1945. Ford's agent, William W. Taylor, had purchased a large, heavy timber cider press to use in this building. For unknown reasons, however, the building never operated as a cider mill; the cider press went into the Cold Storage Cellar (SUD.996). From 1952 to 1969, the Cider House was used for grain storage, leased first by Pepperidge Farm and then by King Arthur Flour Company, which operated the Grist Mill on the Wayside Inn property. By the early 21st century, the Cider House was used for storage of the Wayside Inn's carriage and sled collection. It is presently not open to the public and is used only for the storage of miscellaneous maintenance supplies.

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INVENTORY FORM B CONTINUATION SHEET

SUDBURY 131 WAYSIDE INN RD – CIDER HOUSE

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

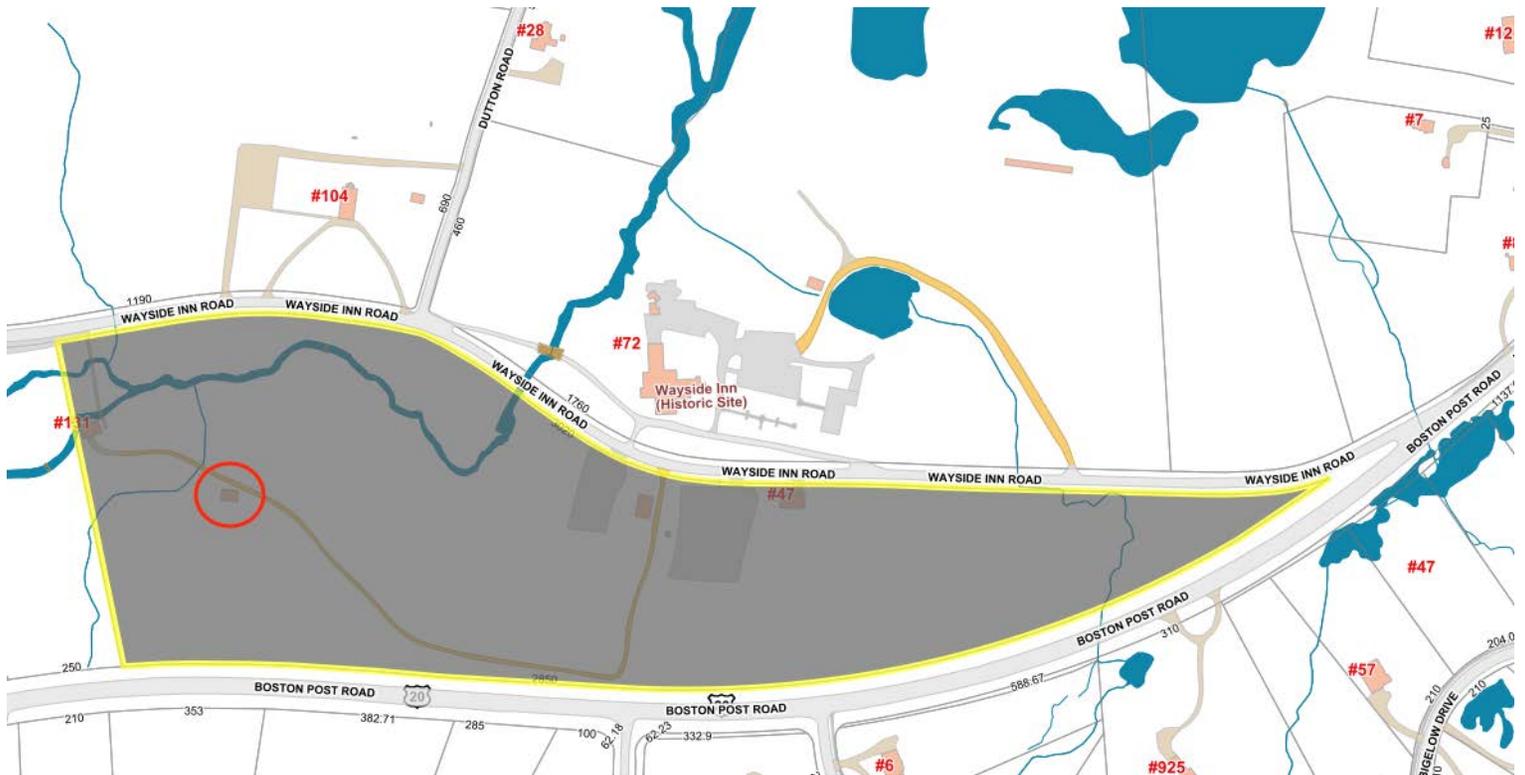
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LOCUS MAP

↑
north



INVENTORY FORM B CONTINUATION SHEET

SUDBURY

131 WAYSIDE INN RD – CIDER HOUSE

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.E, F

SUD.316

SUPPLEMENTARY IMAGES



West elevation.



South (rear) elevation.



View looking west.

FORM F – STRUCTURE

Assessor's Number USGS Quad Area(s) Form Number

L03-0001	Framingham	SUD.E, F	SUD.996
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MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

MA/HL 06/09/1970
 PR 06/09/1970

LHD 03/21/1967
 NRDIS 04/23/1973

Photograph



West side and entrance, looking southeast.

Locus Map

↑
north

see continuation sheet

Town/City: Sudbury

Place (*neighborhood or village*): South Sudbury

Address or Location: 131 Wayside Inn Road

Name: Wayside Inn – Cold Storage Cellar

Ownership: Public Private

Type of Structure (*check one*):

- | | |
|--|--------------------------------------|
| <input type="checkbox"/> boat or ship | <input type="checkbox"/> pound |
| <input type="checkbox"/> canal | <input type="checkbox"/> powderhouse |
| <input type="checkbox"/> carousel | <input type="checkbox"/> street |
| <input type="checkbox"/> dam | <input type="checkbox"/> tower |
| <input type="checkbox"/> fort | <input type="checkbox"/> tunnel |
| <input type="checkbox"/> gate | <input type="checkbox"/> wall |
| <input type="checkbox"/> kiln | <input type="checkbox"/> windmill |
| <input type="checkbox"/> lighthouse | |
| <input checked="" type="checkbox"/> other (<i>specify</i>) cold storage cellar | |

Date of Construction: 1928

Source: Plumb, *History of Longfellow's Wayside Inn*

Architect, Engineer or Designer: not determined

Materials: earth berm, stone retaining walls

Alterations (*with dates*):
n/a

Condition: good

Moved: no yes **Date:**

Acreage: 32.08 acres

Setting: Located at the western end of the Wayside Inn complex, between Hop Brook and the Cider House. Terrain slopes up gently to the south; immediate vicinity is maintained chiefly in lawn and crushed stone walking trails.

Recorded by: W. Frontiero and K. K. Broomer,
Organization: Sudbury Historical Commission
Date (*month / year*): September 2021

INVENTORY FORM F CONTINUATION SHEET

SUDBURY 131 WAYSIDE INN RD — COLD CELLAR

MASSACHUSETTS HISTORICAL COMMISSION

Area(s) Form No.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.E, F

SUD.996

Recommended for listing in the National Register of Historic Places.

If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

DESIGN ASSESSMENT

Describe important design features and evaluate in terms of other structures within the community.

The Cold Storage Cellar is a rectangular underground structure, rising approximately eight feet above grade at its highest elevation, on the northern end. The structure's bermed sides are overgrown with shrubbery and ground cover, while the earthen roof is covered chiefly in lawn. Granite stones cover a grid of ventilation pipes on the roof. The cellar is entered at the northern end of its east and west sides. Approached between retaining walls of irregular cut granite, both entrances feature double-leaf doors constructed of vertical wood, Colonial Revival-style hardware (door pull, hinges, and latch bar), a multi-light rectangular transom over each opening, and a rectangular granite lintel spanning between the retaining walls. The western side of the structure has narrow ventilation openings set high in the earthen berm, constructed with granite lintels, stone-lined jambs, and wire mesh screens rather than glass. Examination of the interior of the structure was not in the scope of this survey and is recommended.

Well preserved and well maintained, the Cold Storage Cellar is an uncommon structural type that still serves its original function. Notable design features include its bermed sides and earthen roof, substantial granite retaining walls at the entrances, distinctive doorways, unobtrusive windows, and rooftop vents.

N.B.: The assessors' address for this parcel is 47-131 Wayside Inn Road; the Wayside Inn Foundation uses 131 Wayside Inn Road for both the Cold Storage Cellar and the Cider House (SUD.316).

HISTORICAL NARRATIVE

Explain the history of the structure and how it relates to the development of the community.

Construction of the Cold Storage Cellar began in 1928, to process and store produce grown in the farms and orchards that Henry Ford developed during his association with the Wayside Inn complex from 1923 to 1945. Covering one-quarter acre of land, the unusual, underground structure provides natural cooling and ventilation in a large structure that is enclosed with granite and reinforced concrete. As described in Plumb's *History of Longfellow's Wayside Inn*,

"Kneehole windows lined the east and west sides [only a few on the west side are presently visible], and an elevator was on the south side. Near the west entrance was a canning room that also contained a cider press (the press still exists). Next to this room was the vinegar room. On the east side of the facility, there was a mushroom culturing area. The roof supports are all ventilation shafts; the boulders above on the outside cover the old openings. This structure was used throughout the 1930s and '40s, but it presumably was abandoned after the war once the schools shut down." (Plumb: 120)

The Cold Storage Cellar is a singular structure exemplifying the extensive scope and practical self-sufficiency of Ford's planned Colonial village in Sudbury. The building is presently vacant and not open to the public. Further investigation of the history and construction of this structure is recommended.

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INVENTORY FORM F CONTINUATION SHEET

SUDBURY 131 WAYSIDE INN RD — COLD CELLAR

MASSACHUSETTS HISTORICAL COMMISSION

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

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SUD.996

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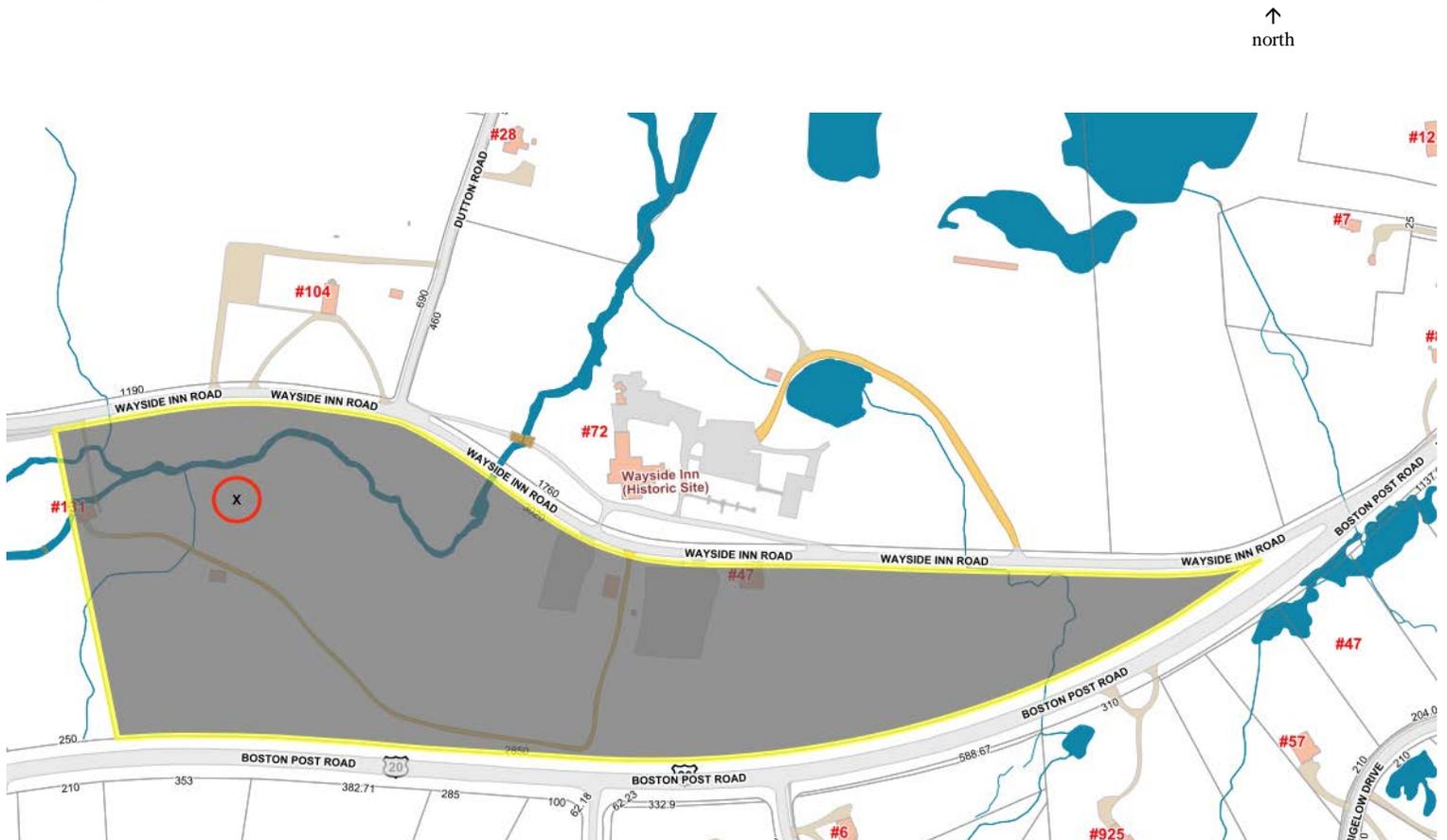
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LOCUS MAP



INVENTORY FORM F CONTINUATION SHEET

SUDBURY 131 WAYSIDE INN RD – COLD CELLAR

MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

Area(s) Form No.

SUD.E, F	SUD.996
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SUPPLEMENTARY IMAGES



East entrance.



East side of roof, looking north; berm on right.



Center of roof, looking northwest.



Detail of window opening on west side.

FORM A - AREA

Assessor's Sheets USGS Quad Area Letter Form Nos. in Area

see data sheet

Maynard

SUD.T

see data sheet

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

NRDIS 07/14/1976

Town/City: Sudbury

Place (*neighborhood or village*):

Name of Area: Wolbach (Winterbrook) Farm

Present Use: residential, agricultural, offices

Construction Dates or Period: ca. 1843-1930s

Overall Condition: good to fair

Major Intrusions and Alterations:

artificial siding and replacement windows on main house;
removal of greenhouse superstructure at the conservatory;
artificial siding and glass-enclosure of porch on caretaker's
cottage

Acreage: 50.74 acres (per Sudbury GIS)

Recorded by: W. Frontiero/K. K. Broomer, consultants

Organization: Sudbury Historical Commission

Date (*month/year*): September 2021

Photograph



Main House: Façade (east) elevations.

Locus Map

↑
north

See continuation sheet.

see continuation sheet

INVENTORY FORM A CONTINUATION SHEET

SUDBURY WOLBACH (WINTERBROOK) FARM

MASSACHUSETTS HISTORICAL COMMISSION

Area Letter Form Nos.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.T

see data sheet

- Recommended for listing in the National Register of Historic Places.
If checked, you must attach a completed National Register Criteria Statement form.

Use as much space as necessary to complete the following entries, allowing text to flow onto additional continuation sheets.

ARCHITECTURAL DESCRIPTION

Describe architectural, structural and landscape features and evaluate in terms of other areas within the community.

The Wolbach (Winterbrook) Farm survey area occupies a large, irregularly shaped set of properties on the south side of Old Sudbury Road. Its rolling landscape of lawn, fields, woodland, and wetlands is an integral part of the Great Meadows ecosystem of the Sudbury River, which lies approximately one-half mile to the east. Winter Brook runs southwest-northeast through the survey area at its southern edge. Sloping down from northwest to southeast, the survey area comprises a main house, barn, conservatory, and caretaker's cottage with garage. These architectural features are clustered along the northern end of Wolbach Road. The street edge in front of the main house is lined with a mortared fieldstone wall; portions of the eastern side of the street frontage are lined with a dry-laid fieldstone wall and a split rail fence.

The Bent-Gleason-Wolbach House (18 Wolbach Road, ca. 1843-1845 and 1920s-1930s) is a linear building whose mid-19th century main block has accumulated a variety of later additions at the sides. The core of the house is a 2½ story, front-gabled block that has been extensively altered. The principal surviving Greek Revival features on its façade are classically detailed corner pilasters. The back end of the block has a pedimented gable-end and displays an unusual gridwork of two-story high, paneled pilasters, which in the early 20th century framed two stories of open porches. (The porches have since been infilled with windows and flat wood panels.) Two side-gabled wings rising 1 and 1½ stories extend to the north of the main block; a 1½ story, side-gabled wing with a front addition, roof deck, and enclosed sunporch at the back extends to the south.

Situated diagonally opposite the house, the Carriage House/Barn (Wolbach Road, ca. 1920) is a U-shaped structure facing the street; a long rear wing extends from the northeast corner. Gable roofs throughout the building have truncated ends; walls are sheathed with clapboards. The building rises one-story from a fieldstone foundation that is fully exposed at the rear (east) elevation. The façade on the main block of the U has a grand center entrance composed of classical pilasters, a pedimented gable with a lunette in the tympanum, and massive double-leaf doors with wood panels and multi-pane sash above. Two square cupolas with hip roofs are widely spaced on the ridgeline. The symmetrical garage wings on the north and south ends of the façade are lower in height; each have two single-vehicle bays and a pedestrian entrance. The rear wing has an asymmetrical gable roof and a flush dormer with a small cupola on the north side. The rear elevation of the main block has two garage doors at the basement level with hayloft-type doors above; a large center entrance with modern glazed infill and a modern deck and staircase; and a small silo at the southeast corner.

The Conservatory (18 Wolbach Road, ca. 1920), located south of the main house, has two distinct parts: a small wood-frame building set close to the road, and the foundation of a substantial greenhouse structure extending to the west. The fieldstone foundations of both building parts are fully exposed at the south end of the building and are set into the hillside on its north and west sides. The wood-frame cottage has a front-gable roof facing north and clapboard siding. Its south and east elevations each have two 6/6 windows. The building features an offset door and a single 6/6 window on its façade (north elevation), and a cross gable, off-center doorway, and substantial chimney on the west elevation. The attached greenhouse structure survives only in its foundation, which is visible on the south side. The south elevation is irregularly punctuated by two single-leaf doorways and eight windows, which are trimmed with flared fieldstone lintels on all openings and concrete sills at the windows. Nine small rectangular openings at the upper part of the south elevation are also trimmed with fieldstone lintels; they presently open onto a flat, membrane roof deck. The glass superstructure that originally stood atop the fieldstone base was removed in 2019.

INVENTORY FORM A CONTINUATION SHEET

SUDBURY WOLBACH (WINTERBROOK) FARM

MASSACHUSETTS HISTORICAL COMMISSION

Area Letter Form Nos.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.T

see data sheet

Located on the north side of the Conservatory are a Garden and Garden Shelter designed by the Olmsted Brothers. These features are accessed by a flagstone-paved walkway from Wolbach Road, which also includes stone retaining walls and a stone-paved terrace and stairs. The main part of the Garden is divided into two rectangular sections; both sections are paved with flagstones and are enclosed by low walls constructed of narrow, flat stones with bluestone caps. Square piers punctuate the garden walls. The eastern section of the Garden contains flat-stone planter beds around the perimeter, a small rectangular pond in the center, and a Garden Shelter at the northeast end. Built into a steep slope, the six-sided Garden Shelter rises from a high foundation of concrete block walls that supports the stone perimeter wall at the garden level. The Shelter's base walls support six square wood posts and a rectangular hip roof, which is detailed with exposed rafter ends and wood shingle cladding. The western end of the Garden is a longer rectangular space with at-grade planting beds around the perimeter and in the center.

The Caretaker's Cottage (39 Wolbach Road, ca. 1920) stands on the east side of Wolbach Road, which takes a sharp bend to the southwest at this location. Facing north, the rectangular structure rises 1½ stories from a fieldstone foundation to a side-gabled roof with gable returns. A small chimney rises from the east end of the ridgeline. The vinyl-clad building has regularly arrayed, 6/1 windows with band molding. Three gabled dormers are evenly spaced across the front roof slope, which flares out at the base to cover a porch across the full length of the façade. A center entrance with sidelights is flanked by a single window on each side. Two-thirds of the front porch has been enclosed with 1/1 windows and flush paneling infilled between slender square posts; the easternmost bay of the porch is open. A small entrance vestibule is situated at the rear of the building, at the southeast corner. The side (east and west) elevations have two windows on the first and half-stories and a narrow 4-light window centered in the gable peak. A shed-roofed dormer covers much of the rear (south) slope of the roof. Positioned to the south of the Cottage is a utilitarian garage, which features a poured concrete foundation; a broad, side-gabled roof without returns; two single-car garage bays on the façade (northeast elevation); one window and a pedestrian entrance on the southeast elevation; and two windows on the northwest elevation.

Well maintained, Wolbach Farm contains a remarkable array of resources related to the agricultural and suburban development of Sudbury over nearly two centuries. The historic integrity of the main House has been severely compromised by the application of artificial siding, alterations to fenestration, and extensive additions. The Barn is unusually large, picturesque, and intact, however, and the Conservatory building is a robust and rare example of its building type on country estates. The modest Caretaker's Cottage is notable for its remote setting, intact massing, roofline, and fenestration.

HISTORICAL NARRATIVE

Explain historical development of the area. Discuss how this relates to the historical development of the community.

A highly significant historic agricultural property in Sudbury, Wolbach (Winterbrook) Farm is the headquarters of the Sudbury Valley Trustees (SVT) land conservation organization. SVT was established in 1953 by seven Wayland men concerned that accelerating post-World War II suburban sprawl threatened the local wildlife habitat. The organization protects open spaces and natural areas in thirty-six communities surrounding the Sudbury, Assabet, and Concord Rivers; manages thousands of acres of land providing habitat for natural wildlife; and maintains more than sixty-five miles of trails for public use, including at Wolbach Farm.

Wolbach Farm illustrates a shift in farm usage in Sudbury from the 19th to the early 20th century, when several of the town's older working farms were incorporated into gentlemen's farms maintained by well-to-do families from the Boston area. Wolbach Road preserves a portion of the old Lancaster Road, a Native trail laid out formally by the town in 1653 as part of a regional highway between Boston and Lancaster. Parts of the road had been gradually abandoned by the early 19th century, most often absorbed into the farmland and wood lots of adjacent neighbors. See Alfred S. Hudson's *History of Sudbury* (1889, pp. 184-186) for a description of the road's path in the vicinity of the (Thomas) Elbridge Bent place.

INVENTORY FORM A CONTINUATION SHEET

SUDBURY WOLBACH (WINTERBROOK) FARM

MASSACHUSETTS HISTORICAL COMMISSION

Area Letter Form Nos.

220 MORRISSEY BOULEVARD, BOSTON, MASSACHUSETTS 02125

SUD.T

see data sheet

Thomas Elbridge Bent owned this farm from 1843 to 1889, eventually amassing about 100 acres west of the Sudbury River. He likely built this house between 1843 and 1845, after purchasing land on the old Lancaster Road from Tilley Smith (see area form for [Fairbank Farm](#)) and before marrying his first wife, Matilda L. Phelps. The Bent farm focused on mixed husbandry: raising cattle for sale, keeping milch cows for milk and dairy products, and growing crops. In 1880, Thomas Bent tilled 30 acres, maintained 45 acres as meadow, pasture, or orchard land, and had 10 acres of woodland and another 15 of unimproved fields. The farm's production for one year in 1880 included 600 pounds of butter, sixty bushels of corn, 100 bushels of potatoes, and forty bushels of apples. The sale of sixteen heads of cattle supplemented the farm income that year.

A neighbor, Augusta M. Morse (1865-1912), purchased Thomas Bent's 100-acre farm in 1889. Born in Maine, Augusta Morse had been residing in Sudbury since at least 1880 with Albert Haynes, and his wife, Caroline; Haynes was also a farmer. The 1880 census incorrectly describes Augusta as the daughter-in-law of Albert Haynes, when it appears Augusta was his step-daughter, the child of Caroline A. (Henderson) (Morse) Haynes. Augusta Morse may have purchased the Bent farmstead with an inheritance, or sold some of the Bent acreage to finance the maintenance of her farm. The town's tax valuation in 1890 assessed her house, two barns, home land of 75 acres, two horses, and three cows. She married John Gleason, an Irish immigrant, in 1899, and resided here until her death.

This farm is better known, since the early 20th century, for its associations with Dr. S. Burt Wolbach and his wife, Anna Wellington Wolbach. In 1914, Anna Wolbach acquired title to the farm from the administrator of Augusta Gleason's estate. The Wolbachs initially maintained the property, which they called Winterbrook Farm, as a country residence or gentleman's farm for weekend use, and were classified as "non-residents" in the town's 1921 tax valuation. Their holdings at that time included a 74-acre homestead plus an additional 20 acres. Anna Wolbach was assessed for the house and ell (valued at \$7,000), spring house and fixtures (\$150), new house (\$2,000), new barn (\$5,500), two conservatories (\$10,000), corn house (\$50), small house (\$50), silo (\$150), two hen houses, and a garage (\$200). From this assessment, it appears likely the barn across the road from the main house, as well as the conservatory, caretaker's cottage, and associated garage, were all in place by 1921, with the barn and caretaker's cottage being new construction. Ancillary farm buildings do not survive. The family also kept one cow, sixty heads of poultry, and three horses. Maintaining a weekend home in Sudbury allowed Dr. Wolbach to continue his childhood love of riding, and he was known to ride horseback on Sudbury's back country roads [Dr. Wolbach obituary].

The Wolbachs maintained homes in both Boston and Sudbury until moving to Sudbury full time about 1937 [Boston directories], following the death of their 11-year-old youngest son, Edmund "Teddy" Wolbach. The 1968 inventory form for the house prepared by William W. Wolbach, eldest of the three Wolbach sons, noted that several additions were made to the house in the 1920s and 1930s. During the Depression, the Wolbachs, along with their neighbors, the Newton family, employed local people to plant red pine, Norway spruce, and eastern hemlock in pastoral areas as well as around the house and barn [Wolbach Farm trail map; LeMond], transforming much of the farming acreage into a wooded retreat.

From the late 1930s through the early 1950s, the Wolbachs engaged the Brookline landscape architecture and planning firm of Olmsted Brothers to design and plant a formal garden and implement other landscape improvements on the property. The successor firm to that of nationally known landscape architect Frederick Law Olmsted, Sr., Olmsted Brothers was formed in 1898 by John Charles Olmsted (1852-1920) and his younger half-brother, Frederick Law Olmsted, Jr. (1870-1957), who built the largest landscape architecture practice in the United States in the early 20th century. An online photograph album of the Wolbach garden and wider landscape (see bibliography) indicates Edward Clark Whiting (1881-1962) and Hans J. Koehler (1890-1945) were among the firm members involved in the Wolbach commissions. Further research is recommended to determine the full extent of the firm's work on the Wolbach property. The Olmsted Brothers-designed garden is currently known as Founders' Garden, named in honor of SVT's founders.

Dr. S. Burt (Simeon Burt) Wolbach (1880-1954) was born in Grand Island, Nebraska and graduated from Harvard's Lawrence Scientific School and Harvard Medical School (1903). Described as one of the world's leading pathologists, Dr. Wolbach's research took him to West Africa to study sleeping sickness in 1910, and Poland, where he identified the cause of typhus that was sweeping the country in 1920. His success in Poland was based on his work in the United States in 1916, when he pinpointed the means of transmission of Rocky Mountain spotted fever, a disease similar to typhus. Dr.

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Wolbach first joined the Harvard faculty in 1905 as an instructor, ultimately serving as Shattuck Professor of Pathological Anatomy at Harvard Medical School from 1922 to 1947, and as Pathologist-in-Chief at the Peter Bent Brigham, Children's, and Boston Lying-In Hospitals, all in Boston. He continued to work part-time in retirement as Director of Nutritional Research at Children's Hospital. President of Millwood Hunt Club in Framingham at the time of this death, Dr. Wolbach participated in drag hunts at the club well into his retirement years.

A Boston native, Anna Wellington Wolbach (1882-1969) was a graduate of Girls Latin School in Boston and Radcliffe College (1904), where she earned summa cum laude honors. She served forty-seven years as a member of Radcliffe's highest governing board, known as the Council, and was awarded the Radcliffe Alumnae Achievement Award in 1955. In 1963, the College dedicated the residence hall that bears her name at 124 Walker Street, Cambridge.

Winterbrook Farm remained in the Wolbach family for more than eight decades. William Wolbach was president of The Boston Foundation and the Boston Safe Deposit and Trust Company, a founder of The Boston Company, and chairman of the board at Children's Hospital [William Wolbach obituary]. His younger brother, John Wolbach (1917- 2000), was a longtime Sudbury resident until his death, as well as a member of SVT. After graduation from Harvard University, he worked his entire 52-year career as a research astronomer at the Harvard College Observatory. John Wolbach bequeathed the family farm, then encompassing 54 acres, to SVT. This gift included the Wolbach house, barn, caretaker's cottage with garage, and conservatory/greenhouse, along with extensive upland woods and riverfront wetlands that connected to nearly 1,000 acres of town and Federal conserved land in this part of Sudbury. John Wolbach had previously donated forty acres on the Sudbury River in 1991, which SVT subsequently sold, with his blessing, to the Great Meadows National Wildlife Refuge. Funds that SVT obtained from the sale were set aside to be used for maintenance of the eventual gift of the larger Wolbach property, which John Wolbach envisioned would become SVT's permanent headquarters. Renovating the Wolbach house for use as offices, SVT opened its new headquarters at Wolbach Farm on March 1, 2004 [Lewis, 139-142].

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For further research, see the Olmsted Research Guide Online (<http://ww3.rediscover.com/Olmsted>) for lists of plans and correspondence between Olmsted Brothers and the Wolbach family on file at the Olmsted National Historic Site in Brookline.

Wolbach (Winterbrook) Farm Data Sheet

<i>Parcel ID</i>	<i>MHC #</i>	<i>Historic Name</i>	<i>Address</i>	<i>Date</i>	<i>Style/Form</i>
H11-0100	SUD.75	Thomas Elbridge Bent House – Augusta Morse Gleason House – Wolbach House	18 Wolbach Rd	ca. 1843- 1845, 1920s- 1930s	Greek Revival/ Colonial Revival
	SUD.993	Wolbach Conservatory		ca. 1920	Utilitarian
	SUD.994	Wolbach Garden		ca. 1938	No style
	SUD.995	Wolbach Garden Shelter		ca. 1938	No style
H11-0102	SUD.399	Wolbach Carriage House/Barn	Wolbach Rd	ca. 1920	Colonial Revival
J11-0202	SUD.400	Wolbach Caretaker's Cottage	39 Wolbach Rd	ca. 1920	Colonial Revival
	SUD.401	garage		ca. 1920	No style

INVENTORY FORM A CONTINUATION SHEET

SUDBURY WOLBACH (WINTERBROOK) FARM

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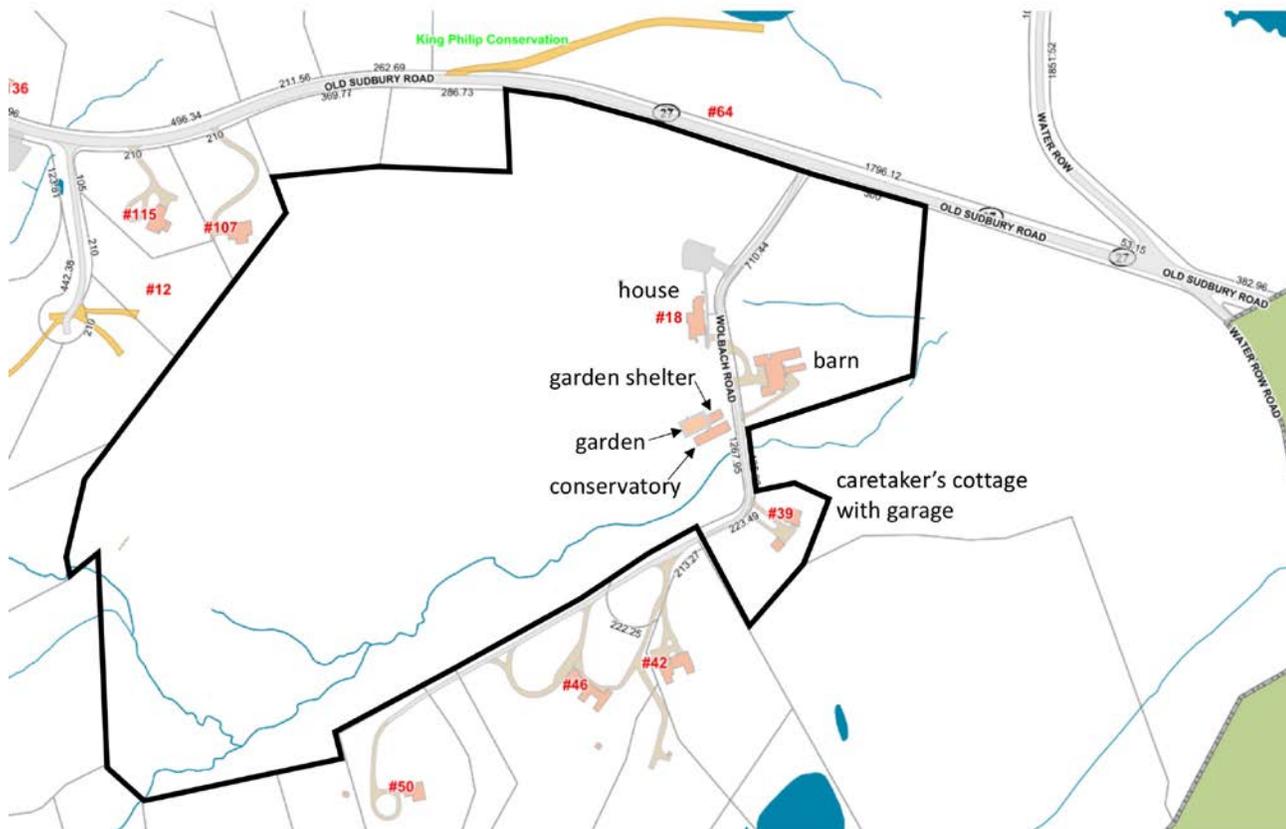
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LOCUS MAP



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SUPPLEMENTARY IMAGES



Main House: South and façade (east) elevations.



Main House: North and west elevations.



Main House: West and south elevations.



Barn: Façade (west) and south elevations.

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SUPPLEMENTARY IMAGES



Barn: North elevations.



Barn: East elevations.

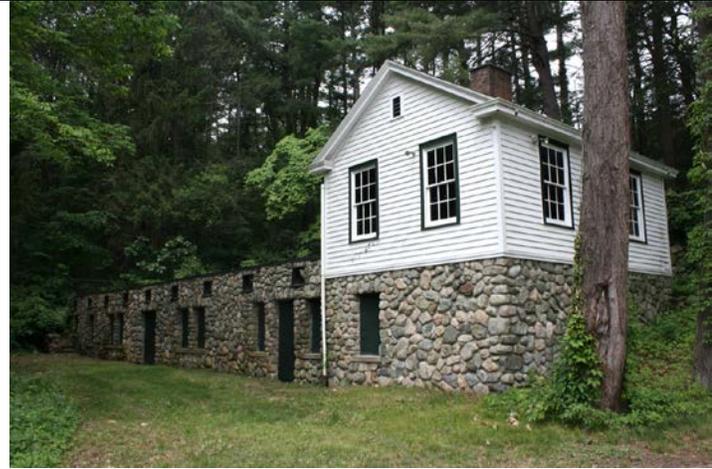


Barn: Façade (west) and south elevations.



Conservatory: Façade (north) and west elevations.

SUPPLEMENTARY IMAGES



Conservatory: South and east elevations.



Conservatory with greenhouse superstructure, 2019. Courtesy of David Anderson.



Garden Shelter and Garden, view from southwest.



Garden, view from northeast.

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Caretaker's Cottage, view from northeast.



Caretaker's Cottage, view from southwest.



Garage at Caretaker's Cottage, view from northeast.